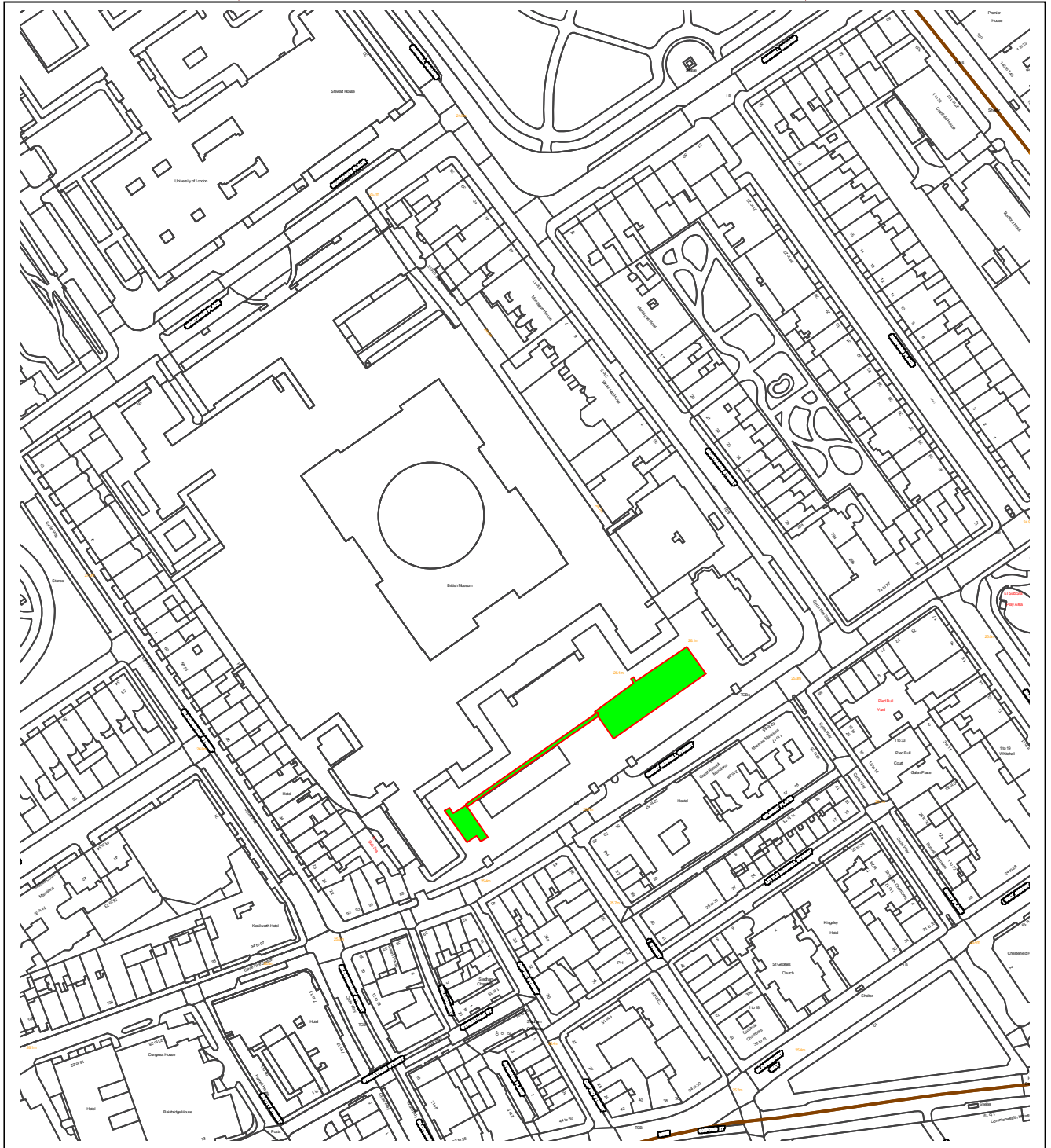


British Museum, Great Russell Street, London (2025/1746/P and 2025/1777/L)



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**BRITISH MUSEUM, GREAT RUSSELL STREET, LONDON.
(2025/1746/P AND 2025/1777/L)**

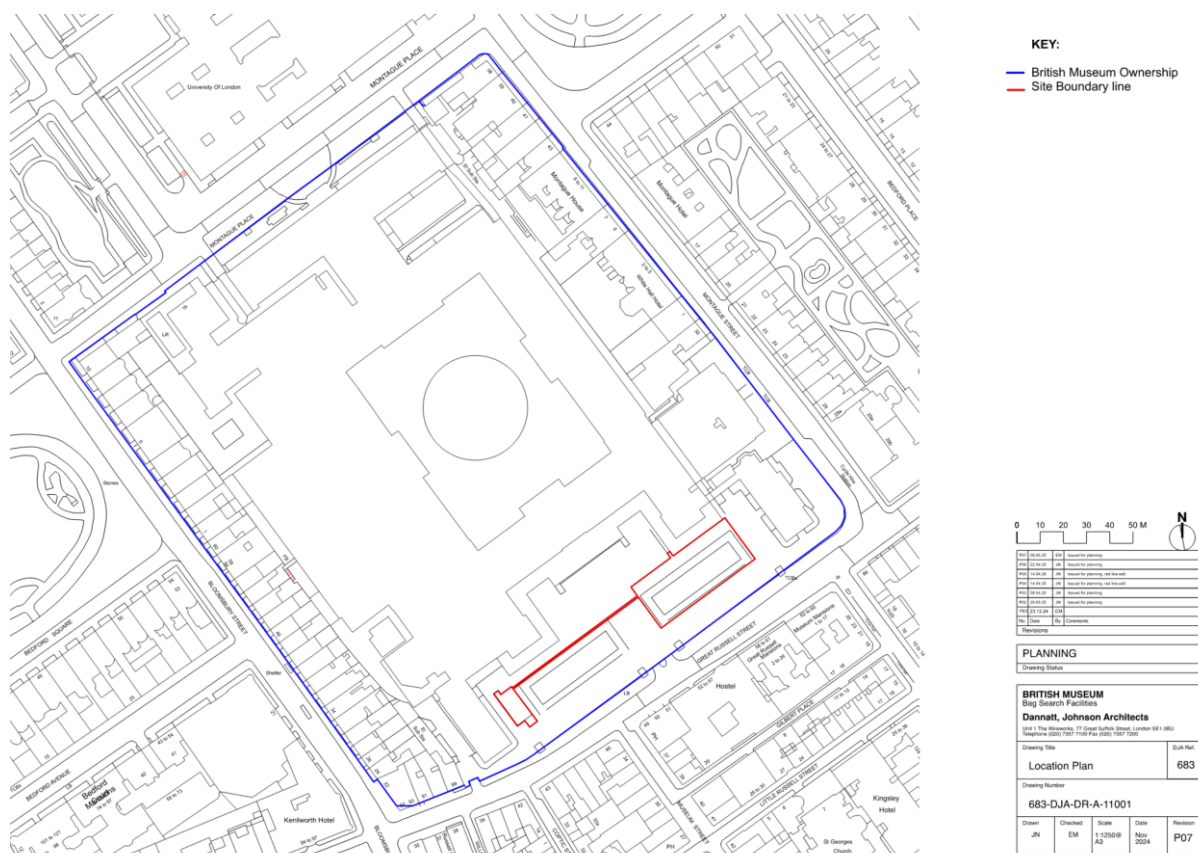


Figure 1 (above): Site location plan showing the south forecourt site area in red and the rest of the British Museum estate in blue



Figure 2 (above): The application site – the East Lawn within the South Forecourt



Figure 3 (above): Existing external search facility adjacent to the West Lawn

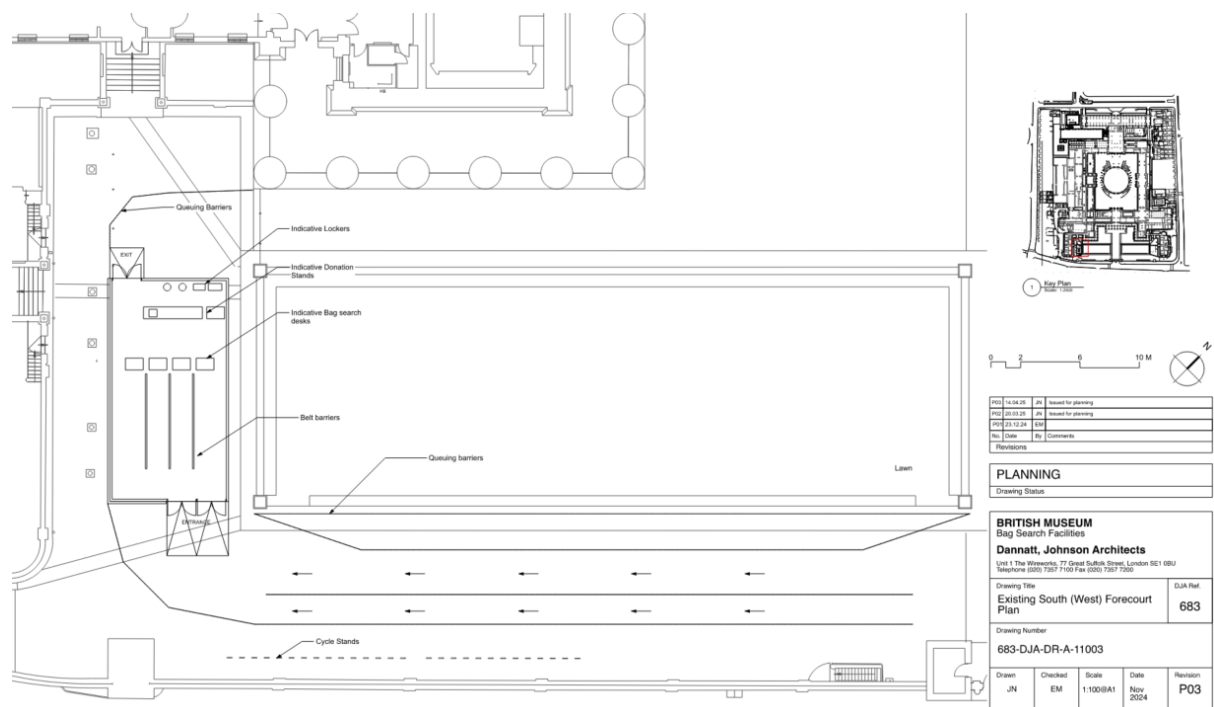


Figure 4 (above): Existing southwest forecourt plan

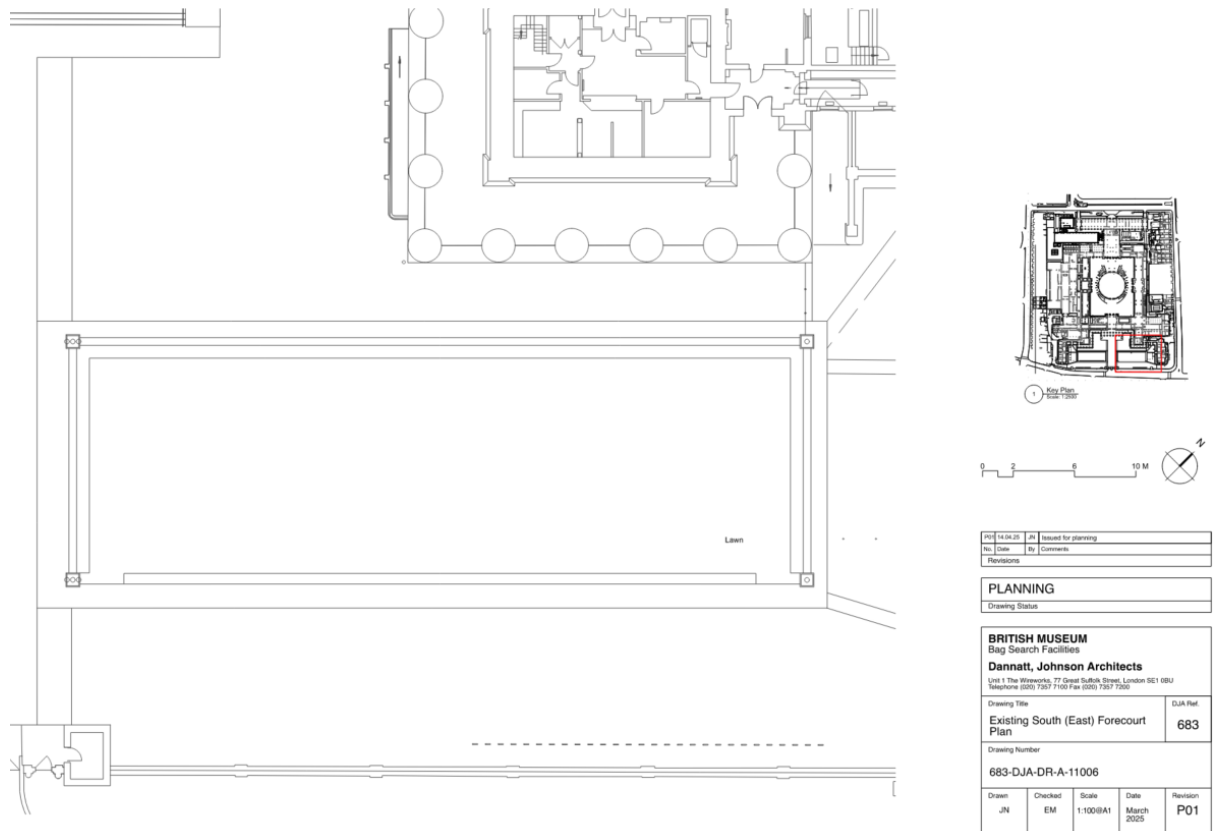


Figure 5 (above): Existing southeast forecourt plan

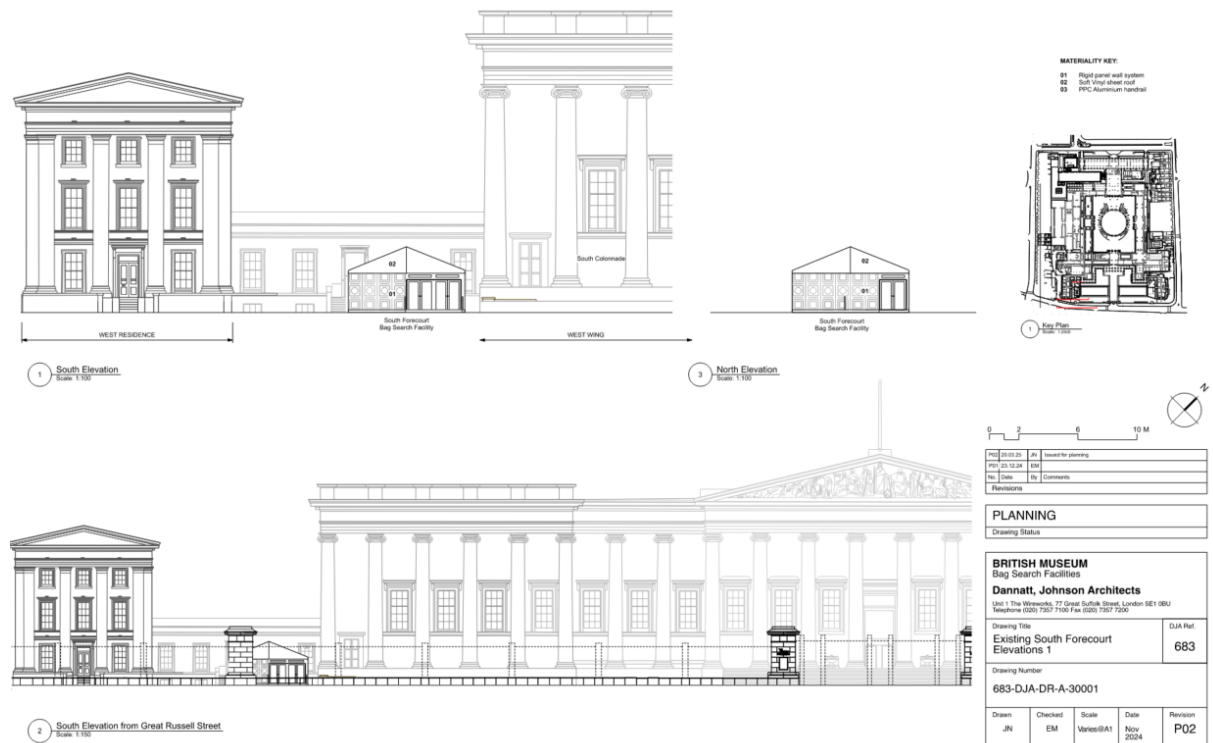


Figure 6 (above): Existing south and north forecourt elevations

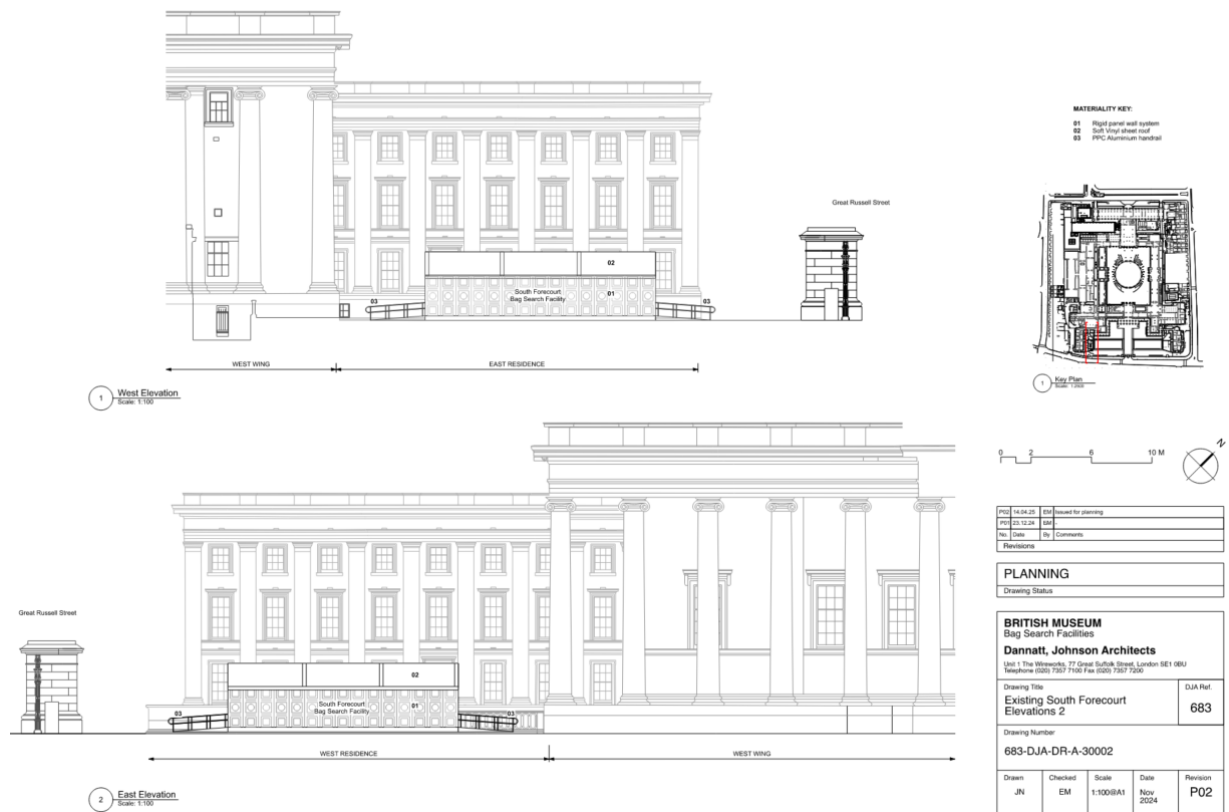


Figure 7 (above): Existing west and east elevations

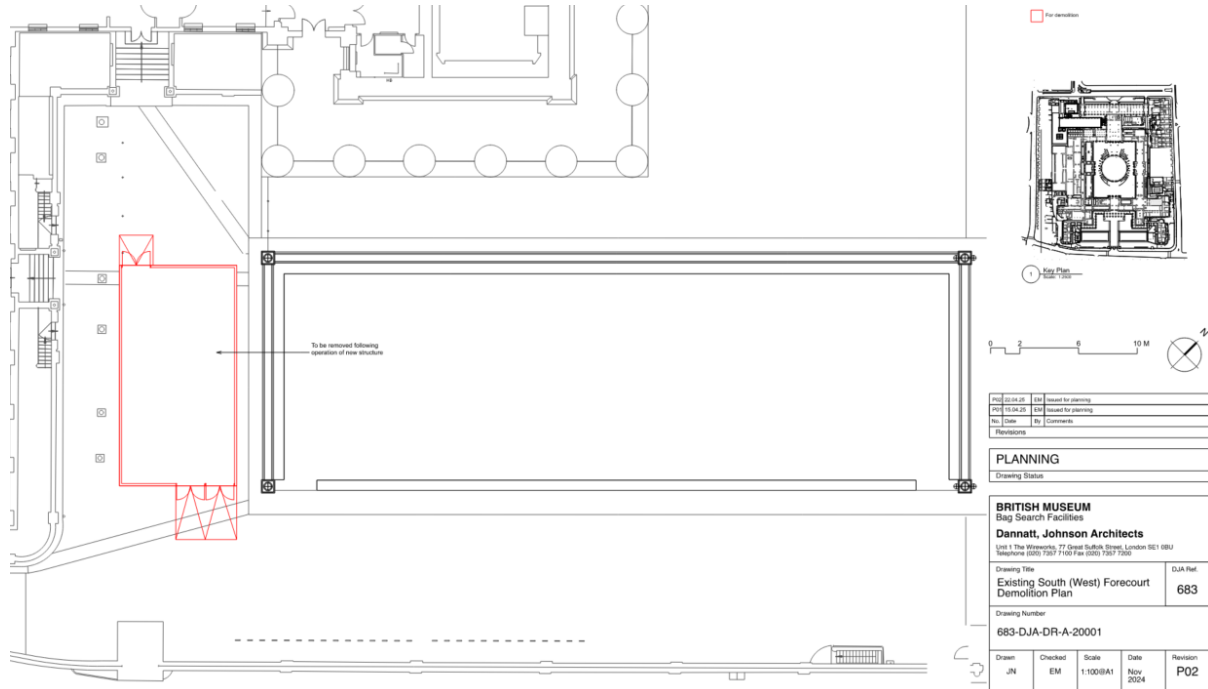


Figure 8 (above): Southwest forecourt demolition plan

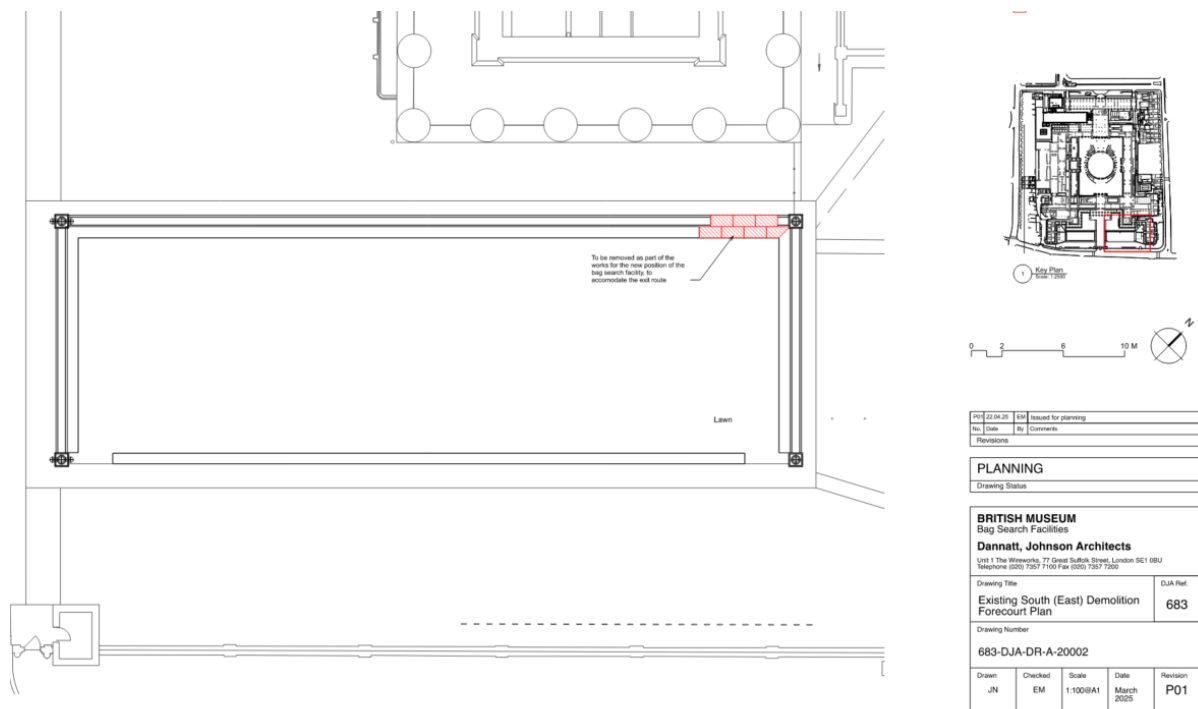


Figure 9 (above): Southeast forecourt demolition plan

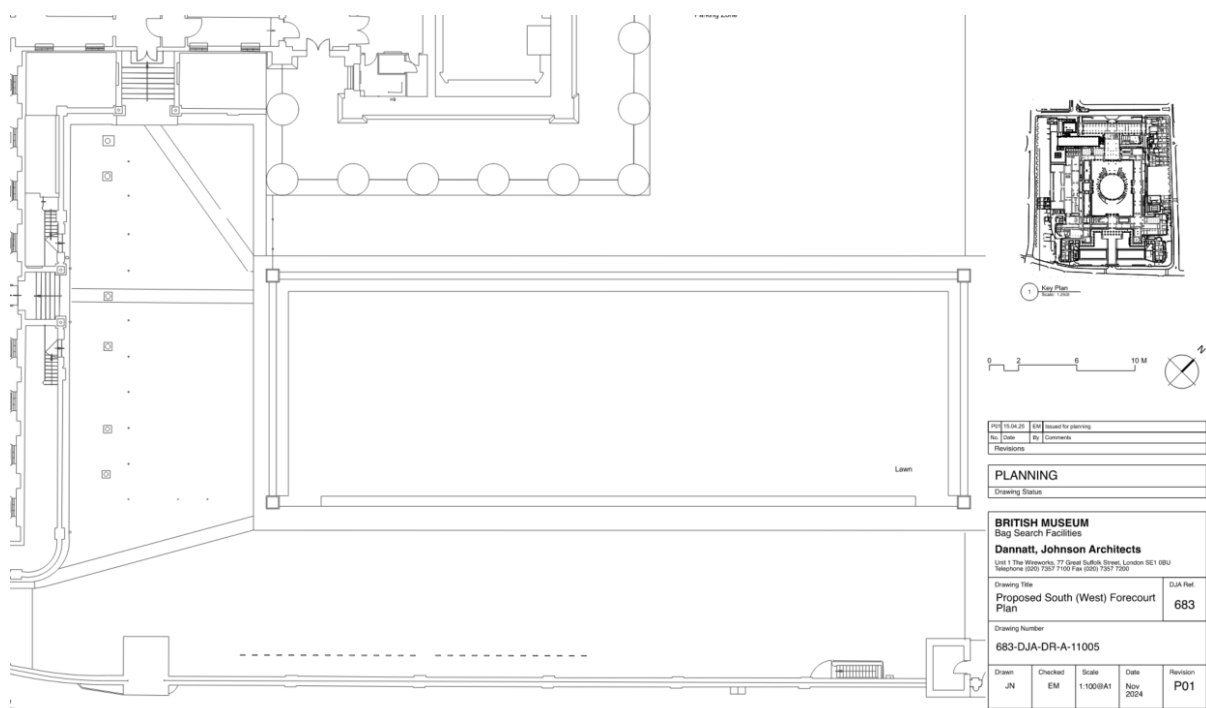


Figure 10 (above): Proposed southwest forecourt plan

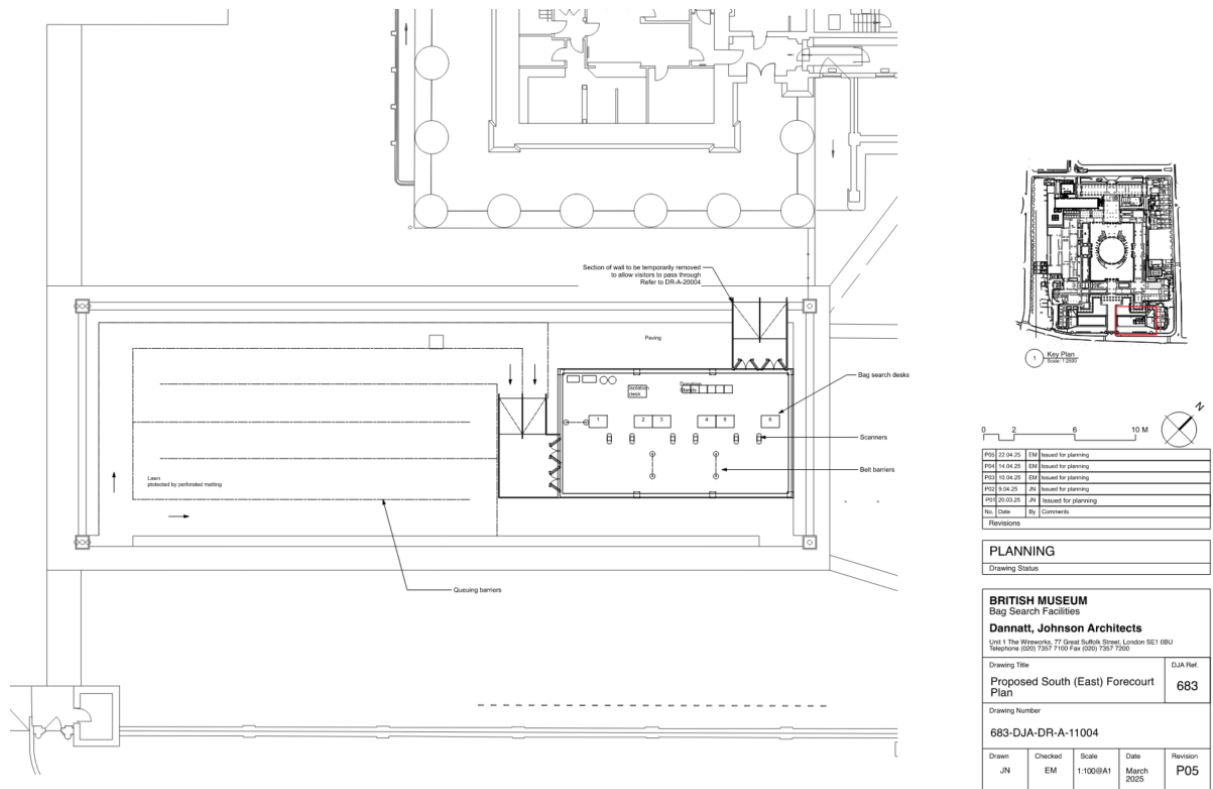


Figure 11 (above): Proposed southeast forecourt plan

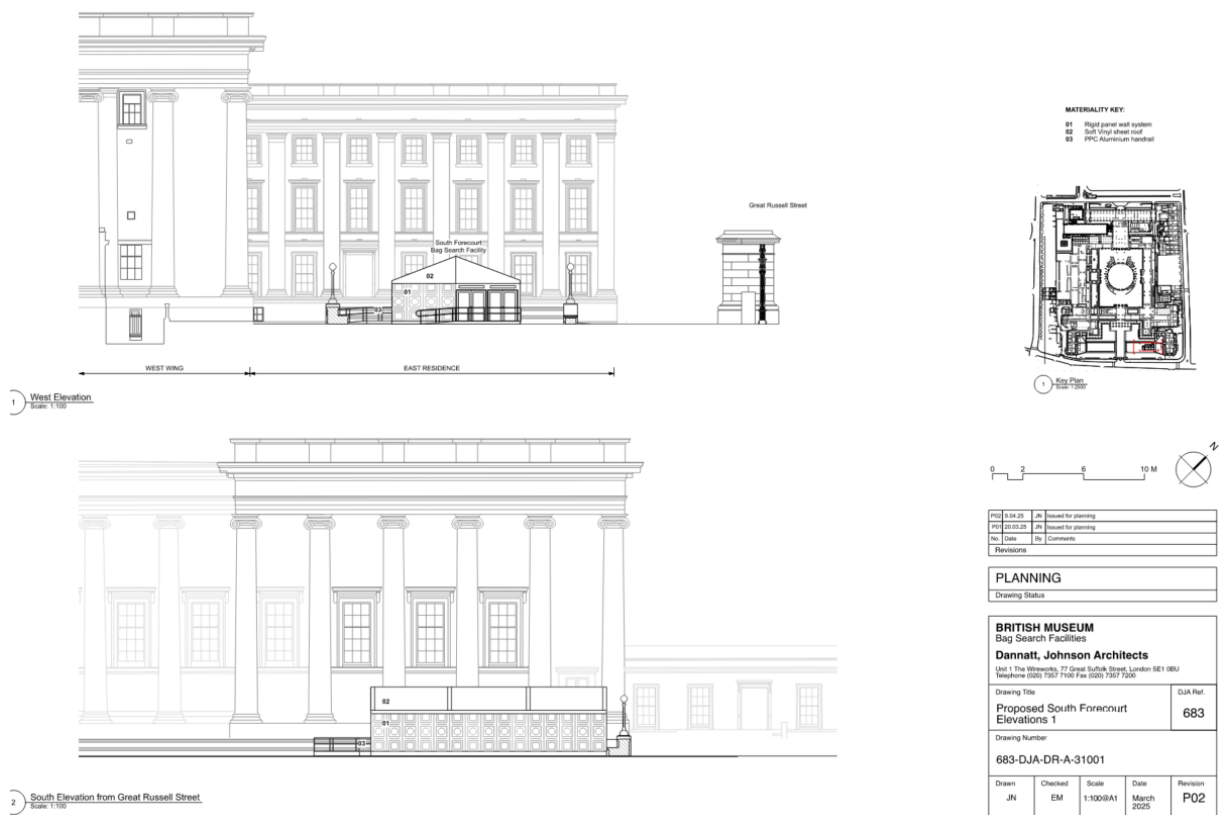


Figure 12 (above): Proposed west and south elevations

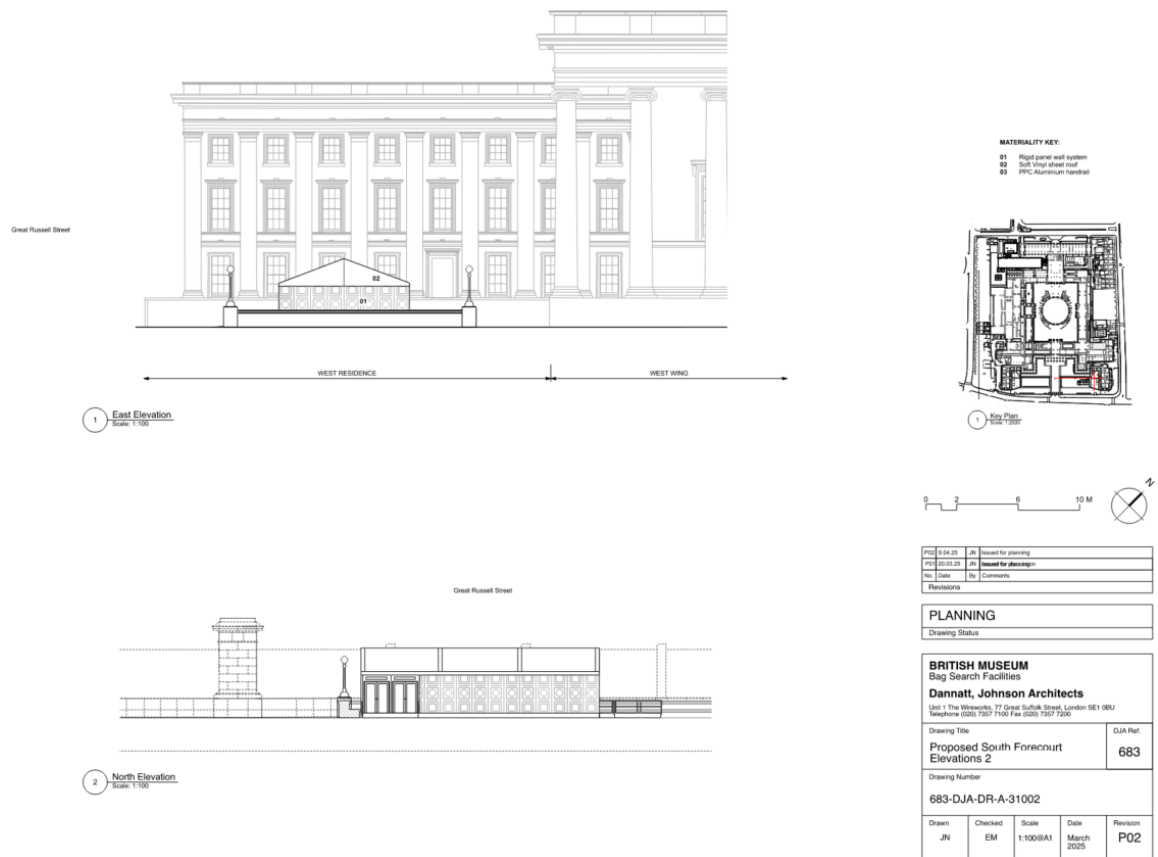


Figure 13 (above): Proposed east and north elevations



Figure 14 (above): Visuals of the proposed temporary security bag search facility



- | | | |
|---|---------------------------------|---|
| 1. Fire tender vehicle access
(to principal elevations and dry riser inlets) | 5. Loading/unloading for events | Key:
Area currently designated for visitor arrival, queuing and search |
| 2. Ambulance access to front door | 6. VIP drop-off | |
| 3. London Air Ambulance landing site | 7. Contractors' vehicle access | |
| 4. Blue badge holders' access and parking and Fire appliance landing site | 8. Staff bicycle parking | |
| | 9. Cafe/refreshments | |

Image credit: Uses of the South forecourt, (page 18, Design and Access Statement, 25.07.2022 by Wright & Wright Architects)

Figure 15 (above): Existing uses of the south forecourt

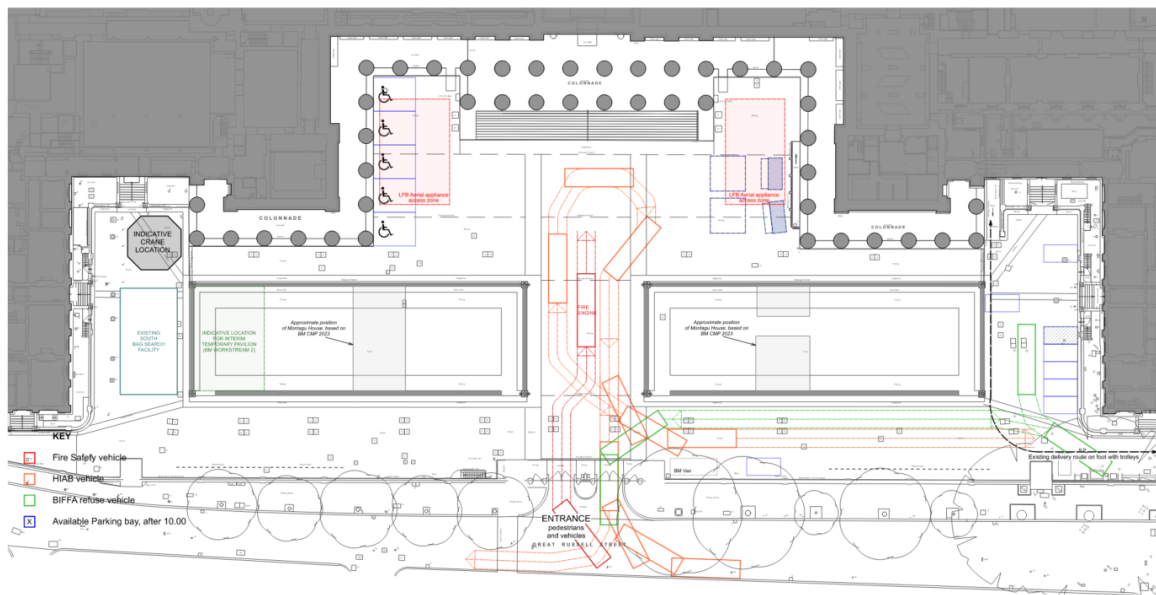


Image: South forecourt plan identifying potential constraints for position of temporary relocation of bag search facility.

Figure 16 (above): South Forecourt plan showing potential constraints for location of temporary relocated bag search facility

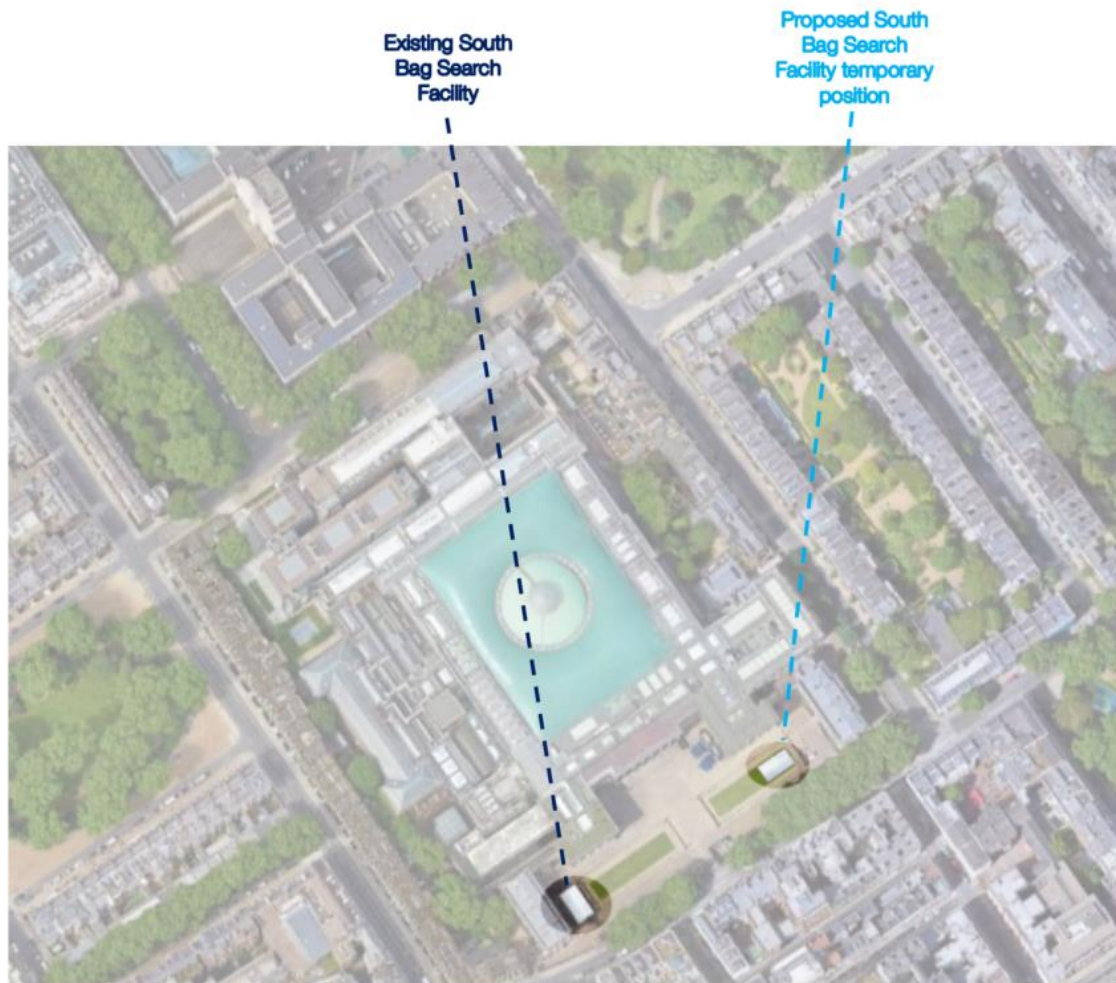


Figure 17 (above): Aerial plan visual of the existing security bag search facility and the proposed temporary security bag search facility

Delegated Report		Analysis sheet		Expiry Date:		20/06/2025	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		23/06/2025	
Officer				Application Number(s)			
Elaine Quigley				2025/1746/P and 2025/1777/L			
Application Address				Drawing Numbers			
British Museum Great Russell Street London WC1B 3DG				See draft decision notices			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
<p>(i) 2025/1746/P Temporary relocation of bag search facility at the south entrance of The British Museum from the existing location to the east lawn of the south forecourt with associated creation of a temporary opening in the dwarf wall to the east lawn for access/egress.</p> <p>(ii) 2025/1777/L Formation of a temporary opening in the dwarf wall to the east lawn for access/egress in association with the temporary relocation of bag search facility at the south entrance of The British Museum from the existing location to the east lawn of the south forecourt.</p>							
Recommendation(s):		<p>(i) Grant conditional temporary planning permission</p> <p>(ii) Grant conditional temporary listed building consent</p>					
Application Type:		<p>(i) Full Planning Permission</p> <p>(ii) Listed Building Consent</p>					

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
Summary of consultation responses:	<p><u>Original proposal</u> Site notices were displayed fronting Great Russell Street (main entrance) that expired on 31/05/2025 and a press notice was advertised that expired on 01/06/2025.</p> <p><u>Revised proposal</u> The original description of development read as follows: <i>Formation of a temporary opening in the dwarf wall to the east lawn for access/egress in association with the temporary relocation of bag search facility at the south entrance of The British Museum from the existing location to the east lawn of the south forecourt for a period of 18 months.</i></p> <p>Due to programme changes relating to the submission of the forthcoming planning application for the interim security pavilion for the visitor welcome it has become necessary to revise the description of development to remove the specified time period of 18 months. The description of development has been revised to read as follows: <i>Formation of a temporary opening in the dwarf wall to the east lawn for access/egress in association with the temporary relocation of bag search facility at the south entrance of The British Museum from the existing location to the east lawn of the south forecourt.</i></p> <p>Additional site notices were displayed advertising the change to the description of development which expired on 23/06/2025 and another press notice was advertised that expired on 22/06/2025.</p> <p>No consultation responses were received during the extended consultation period.</p>					
BLOOMSBURY ASSOCIATION:	<p><u>Bloomsbury Association: - objects</u></p> <ul style="list-style-type: none"><i>Heritage</i> The proposal, presented as ‘temporary’ but in reality permanent, damages the setting of the Grade I listed building, it destroys the symmetry of the Museum forecourt.<p><i>Officer response:</i> <i>Whilst it is acknowledged that the security tent will cause less than substantial harm on the low end of the scale to the symmetry of the South Forecourt, this is temporary in nature with the structure expected to be removed in 2027. See <u>Section 5.0 “Design”</u> for information.</i></p><i>Pedestrian safety</i> The proposal provides insufficient queuing space with inevitable spillover onto the public footpaths outside the Museum. Queues frequently extend the length of Great Russell Street, along the entirety of Bloomsbury Street and into Bedford Square, blocking these footways and presenting a significant risk to public safety. The benefits of the proposal do not mitigate the risks.<p><i>Officer response:</i> <i>In terms of management of the queues and its impact on pedestrian safety the Museum are seeking to improve the queueing format</i></p>					

	<p><i>using a snakes pattern which will increase the number of people who can queue within the South Forecourt. New security scanning equipment will also be trialled to reduce bag search time which would also help to streamline the queues and help reduce overspill onto the surrounding street. An internationally renowned tourist destination in Central London will inevitably attract high numbers of visitors and this allows their safe management. In any event, the objection relates to the current situation rather than the proposal, and the proposal would not result in worse impacts than the current situation. See <u>Section 7.0 "Transport"</u> for further information.</i></p>
HISTORIC ENGLAND	<p>Historic England were consulted on the applications and responded with no comments on the planning application and confirmed that the Council should seek the views of their own specialist conservation advisers to determine the listed building consent. The application has been reviewed by the Planning Casework Unit of the Ministry of Housing, Communities and Local Government and it has been confirmed that they do not intend or require the application to be referred.</p>

Site Description

The application site lies to the north of Great Russell Street, to the west side of Montague Street, to the east of Bloomsbury Street and Bedford Square, and to the south of Montague Place, and is the home of the British Museum. The Museum is a Grade I listed building which accommodates the national collection of historical artefacts from across the world. It is one of the top visitor attractions in the UK.

The site is within the Bloomsbury Conservation Area and its complex includes the Grade II listed buildings around the perimeter of the museum that front Montague Street and Bloomsbury Street and Bedford Square.

Relevant History

There have been a significant number of planning permissions and listed building consents for works relating to the main Museum building and the perimeter properties along Montague Street.

Permissions associated with the security bag search facility in the South Forecourt

The existing security facility has been in place since 2016. The relevant permissions to this application are detailed below.

Planning permission (ref 2025/0038/P) was **granted** on 03/03/2025 for continued use of single storey structures in the south and north entrances to provide an external search facility to the museum for a temporary period for 18 months (until 3rd September 2026).

Planning permission (ref 2022/3159/P) was **granted** on 03/03/2022 for continued use of single storey structures in the south and north entrances to provide an external search facility to the museum for a temporary period for 2 years. A condition was attached stating that the structures should be removed from the site by 03/03/2025.

Planning permission (ref 2016/2524/P) was **granted** on 17/08/2020 for the erection of a single storey structure in the front forecourt to provide an external search facility to the museum for a temporary period of 2 years (RETROSPECTIVE)

Planning permission (ref 2016/4219/P) was **granted** on 17/08/2020 for erection of a single storey structure including ramp and handrail outside the KEB building north entrance to provide an external search facility to the museum for a temporary period of 2 years (RETROSPECTIVE).

Other relevant permissions

Planning permission (ref 2023/4648/P) was **granted** on 16/10/2024 for Erection of new energy centre incorporating maintenance support accommodation to internal West Road, new substation off Montague Street, all together with associated internal and external works, service runs, erection of plant, landscaping, and temporary works associated with construction following demolition of existing Energy Centre to internal West Road and removal of temporary buildings to the south of the existing energy centre on the internal West Road and to the north and east of the White Wing facing Montague Street.

Listed building consent (ref 2023/4903/L) was **granted** on 16/10/2024 for Erection of new energy centre incorporating maintenance support accommodation to internal West Road, new substation off Montague Street, all together with associated internal and external works, service runs, erection of plant, landscaping, and temporary works associated with construction following demolition of existing Energy Centre to internal West Road and removal of temporary buildings to the south of the existing energy centre on the internal West Road and to the north and east of the White Wing facing Montague Street.

Relevant policies

NPPF (2024)

The London Plan (2021)

Camden Local Plan (2017)

C3 Cultural and leisure facilities

C5 Safety and security

C6 Access for all

A1 Managing the impact of development

A2 Open space

A3 Biodiversity

D1 Design

D2 Heritage

T1 Prioritising walking, cycling and public transport

CPG Guidance (2021)

Amenity CPG

Biodiversity CPG (March 2018)

Community uses, leisure and pubs CPG

Design CPG

Supplementary guidance

Bloomsbury Conservation Area Appraisal and Management Strategy (CAAMS) 2011

Draft Camden Local Plan (DCLP)

The council published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation in January 2024. Responses to the consultation and a [Submission Draft Camden Local Plan](#) (updated to take account of the responses) was reported to Cabinet on 2 April 2025 and the Council on 7 April 2025. The Council resolved to agree the Submission Draft Local Plan for publication and submission to the government for examination following a further period of consultation.

The Council has published the Camden Local Plan Proposed Submission Draft for consultation. The consultation closes on Friday 27 June 2025. The Submission Draft is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

Assessment

1.0 BACKGROUND

1.1 The existing security bag search facility has been in place in the South Forecourt for nearly 10 years with the most recent planning permission granting the continued use of the security bag search facilities in the south forecourt and on Montague Place for a temporary period of 18 months until September 2026. The need for the security search bag facilities has been demonstrated and accepted as part of the previous permissions due to the ongoing security risk to the British Museum. The security bag search facilities continue to be required to maintain the safe operation of the Museum at the principal visitor entry points.

1.2 The Museum is currently reviewing its long-term strategy for the wider estate and is working closely with an external design team to develop a more comprehensive and lasting solution that addresses the essential need for search facilities and enhances the overall visitor arrival experience. Planning and listed building consent applications for this interim scheme (Workstream 2) are expected to be submitted in Autumn 2025. The interim proposal includes removing the temporary structures at both the north and south entrances and creating an improved visitor welcome experience. The design of the interim welcome facilities is guided by key principles: security, visitor flow, accessibility, and heritage. It also incorporates a landscaping strategy for the south forecourt, including a visitor welcome pavilion on the West Lawn incorporating bag search facilities. It is expected that the interim scheme will replace the current bag search structures and is intended to be in place for approximately

10 years, starting from Spring 2027. During this period, a permanent visitor welcome solution – incorporating security and bag search facilities – will be developed, aligning with broader public realm initiatives in the surrounding area.

2.0 PROPOSAL

2.1 Permission is sought for the temporary relocation of bag search facility at the south entrance of The British Museum from the existing location to the east lawn of the south forecourt with associated creation of a temporary opening in the dwarf wall to the east lawn for access/egress.

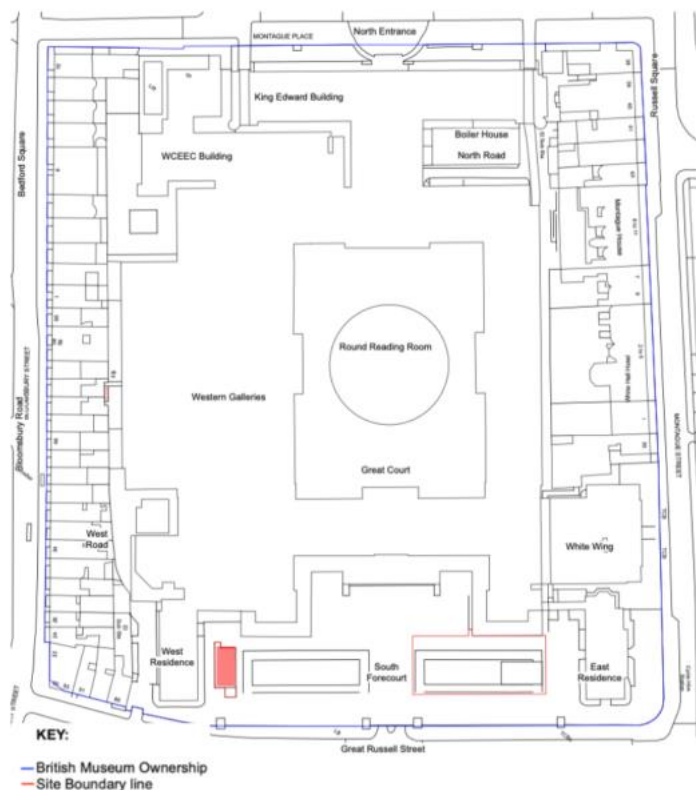


Figure 1 (above): Block plan showing the existing security bag search facility in the West Lawn of the South Forecourt of the Museum (coloured in red) and the location of the proposed security bag search facility in the East Lawn (outlined in red).

2.2 It is proposed to dismantle and remove the existing security structure that is located next to the West Lawn and install a new security structure on the East Lawn. The security bag search facility will be the same size and scale as the existing one next to the West Lawn measuring 15m (length) by 8m (width) with a footprint of approximately 120 sq. m. It will measure 3m to the eaves and 4.65m in height to the ridge of the roof of the structure. The proposed temporary bag search facility will be formed of an aluminium frame with a suspended floor comprising aluminium beams supporting timber floor cassettes. Access ramps and handrails will be installed to ensure step free access.

2.3 A section of low perimeter wall surrounding the East Lawn measuring 5m (length) by 0.85m in height will be temporarily removed to accommodate the exit ramp from the security bag search facility. Ground protection mats will be overlaid onto the grass to minimise damage to the existing lawn. The forecourt layout with grassed lawns bounded by dwarf walls and stone sett perimeters remains as designed by Sidney Smirke's 1850 plans, however the walls have been rebuilt and remodelled in Lord Foster's early 21st century installation. Although the perimeter wall is not specifically listed it is within the curtilage of the listed building.

2.4 The purpose of the structure is to continue to provide security screening to visitors entering the museum as an additional security measure to the existing security screening within the main entrance of the Museum itself. Listed building consent is not required for the security structure as it is not attached to the listed building. However, the application is supported by an accompanying listed building application as listed building consent is required for the removal of a section of the perimeter dwarf wall to create an opening for visitors to access the Museum building.

2.5 The security bag search facility will be located on the East Lawn in a landscape orientation to facilitate the security scanners and queues. The queues will run through the east lawn grassed area (see figure 2 below). It is proposed to install matting and queue barriers to manage people flow. A making good strategy for the east lawn is proposed to reinstate the baseline (turfed lawn) within 2 years of the development.

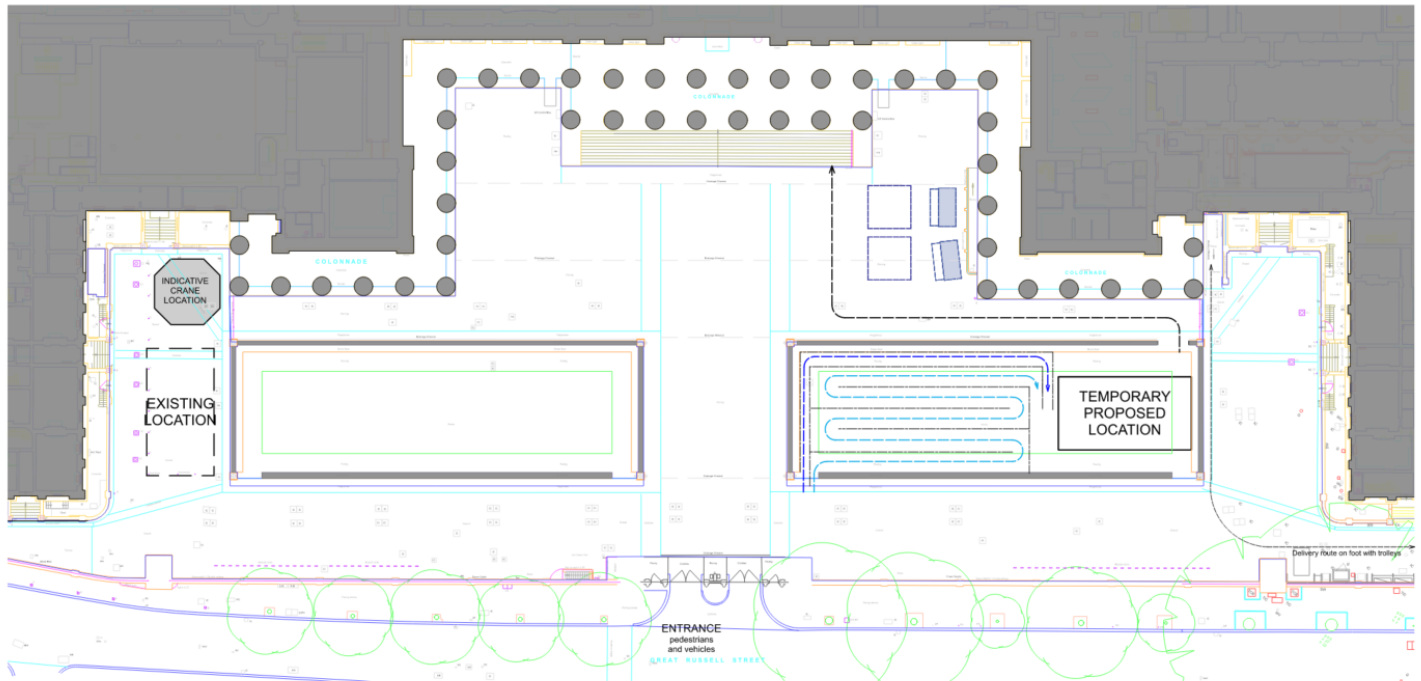


Figure 2 (above): Location of temporary security bag search facility including queuing system

2.6 The relocated bag search facility is expected to be in place for approximately 2 years. The Museum has advised that this period of time is required to cover the period for the development of the design for the interim security solution, the associated statutory planning process, with construction works to be completed by Spring 2027. This period also includes the short time period during which the existing and proposed security structures on the South Forecourt will both be in place to allow the new security structure on the East Lawn to be erected. The existing structure will be removed upon completion of the replacement structure on the East Lawn.

3.0 ASSESSMENT

3.1 The main material considerations associated with the proposal include:

- Need for the security structure
- Design (including impact on the character, appearance and setting of the Museum and the conservation area)
- Amenity
- Transport
- Trees, landscaping and biodiversity

4.0 NEED FOR THE SECURITY STRUCTURE

Sequence of work affecting the position of the existing search facility

4.1 The relocation of the security tent is necessary to ensure that a security bag search facility can continue to operate whilst 2 planned major project work strands are ongoing in the South Forecourt:

- (i) South West Energy Centre - Ongoing construction works associated with the new South West Energy Centre (SWEC) that was granted planning permission on 16/10/2024 (see planning history for more information) requires the northwest corner of the courtyard to include a hoarded compound to accommodate a crane. Access will be required to construct the compound from the start of 2026. To facilitate this access and separate the public from that construction activity it will be necessary to relocate the existing bag search facility.
- (ii) Visitor Welcome interim strategy - To facilitate forecast works for an interim pavilion on the

West Lawn which will begin in the spring 2026 which will include security and search facilities. The West Lawn will become a construction site for this period, and the relocation of the temporary security search bag facility to the East Lawn will facilitate the separation of the public from this construction activity. To ensure the security bag search facility remains undisrupted there will then need to be a short overlap of the two structures to be in place, so that the security measures can continue to operate throughout.

4.2 Permission is therefore being sought for the relocation of the security bag search facility for a temporary period from the area adjacent to the West Lawn to the East Lawn in the South Forecourt. Given the ongoing major project work strands and the associated construction logistics that will affect the area around the existing security bag search facility, it is accepted that the structure will need to be relocated to another area of the Museum in order to enable security and access operations to continue during this period of construction for a further temporary period (until July 2027).

Alternative locations:

4.3 Several location options have been explored for the relocation of the security bag search facility prior to the submission of the application. These included 7 options (including the proposed security bag search facility) (see figure 3 below). Most of the options were discounted either for fire tender access reasons or vehicle access restriction reasons. Of the options that were explored, the East Lawn has been chosen as the preferred location to avoid impacting on the required fire tender access to the front of the portico. The benefits of the location will also avoid vehicular delivery routes to the south-east logistics hub, including any requirement for queuing on the hard standing in front of the lawn.

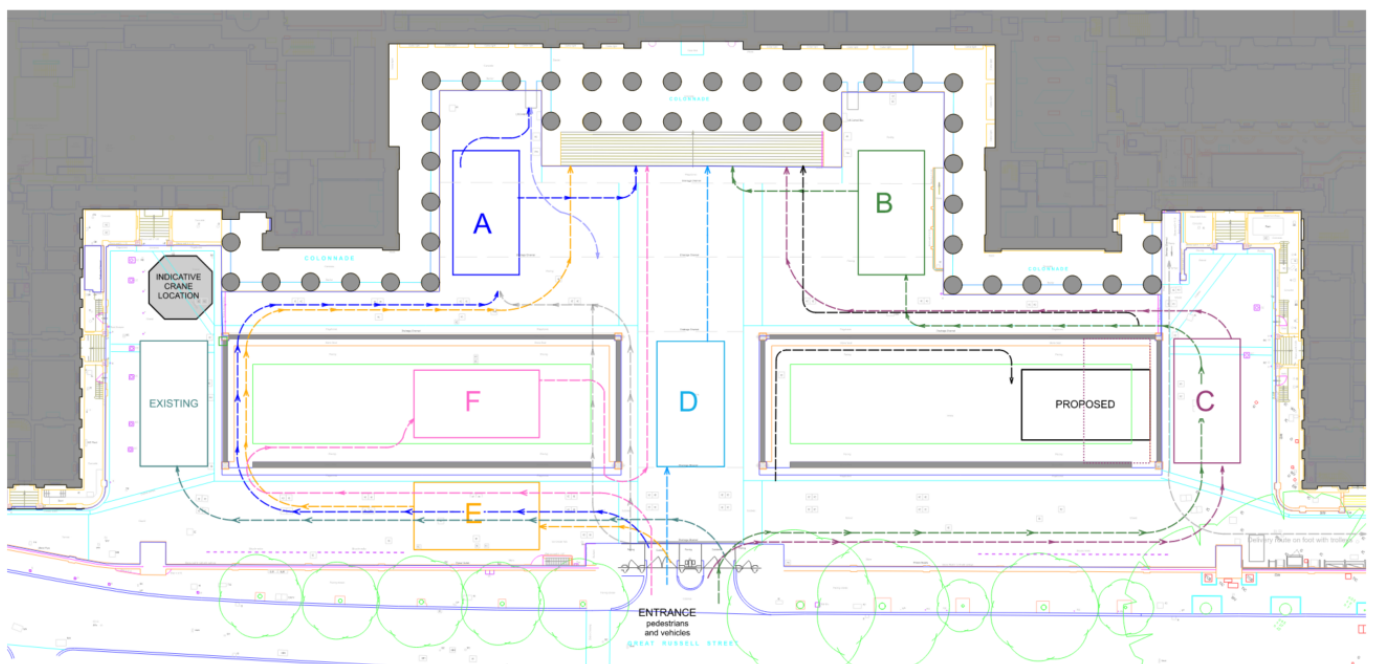


Figure 3 (above): Options location appraisal diagram

5.0 DESIGN AND HERITAGE

5.1 The Council's design policies are aimed at achieving the highest standard of design in all developments, including where alterations and extensions are proposed. Policy D1 (Design) of the Local Plan requires development to be of the highest architectural and urban design quality which improves the function, appearance, and character of the area. The Council welcomes high quality contemporary design which responds to its context. Camden's Local Plan Document is supported by Supplementary Planning Guidance CPG (Design).

5.2 Local Plan Policy D2 (Heritage) states that the Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings. Local Plan Policy D2 says the Council will not permit development that results in less than substantial to the significance of a designated heritage asset (a conservation area or listed

building) unless the public benefits of the proposal convincingly outweigh that harm. This echoes the statutory requirements of sections 16, 66, and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

5.3 The relocated single storey structure in the East Lawn of the South Forecourt measures 15m (length) by 8m (width). It is set back 15m from the front boundary metal railings and set away from the western elevation of the East Residence by 17.5m. It has metal panelled walls with a tented roof structure that measures 4.65m at the apex. Its internal finishes include ceiling linings and a barrier carpet on a level floor deck with ramped access.

5.4 The Council acknowledges that the proposed security structure is a prominent feature within the direct foreground setting of the Museum. In terms of the main entrance, the symmetrical design of the Smirke Museum buildings, their arrangement around the South Forecourt and associated boundary treatments all work together to create the appearance of a grand palace composition that reinforces the status of the Museum as a Grade I listed building. The South Forecourt is integral to the setting of the Museum and the Bloomsbury Conservation Area. As such, it is considered that the security structure does cause less than substantial harm to the setting of the listed building and the wider Bloomsbury Conservation Area. The harm to the setting of the building is due to the position of the structure outside the Grade I listed building. The harm would be considered less than substantial to the designated heritage asset (i.e. the Grade I listed building) as it is not affecting the designated heritage asset itself rather the issue is the harm to its setting. The proposed structure is out of character in the conservation area due to its size, scale, bulk, footprint, form and appearance. However the harm is identified as less than substantial harm as the impact has to be considered in relation to the setting of the conservation area as a whole and the proposal affects only a small area of the Bloomsbury conservation area. Furthermore, the simple design, materials, and temporary appearance of the structure minimise the harm caused, as does the siting. The harm needs to be weighed against the public benefits that the proposal provides. Considerable importance and weight has been attached to the harm caused in this instance, nevertheless the security structure would continue to be in place for a temporary period of time until a permanent solution is identified through the interim and long term solution for security and visitor arrival. The security screening improvements provided by the structure are considered a significant public benefit which would outweigh the less than substantial harm caused. Ensuring the continued effective operation of a nationally (and internationally) significant cultural institution in the heart of London, as well as ensuring the ongoing safety of the building, its exhibits, staff, visitors, and other members of the public, is a clear and significant public benefit which has been given significant and considerable weight. It is accepted that the approach taken is an appropriate temporary solution to address the existing issues and that the works have been carefully conceived to cause the least harm to the listed building and conservation area. Historic England were notified about the application and have recommended that the Council seek the views of the conservation specialists.

5.5 As already stated above, this type of development is something that the Council would not normally support due to the impact of the proposal on the conservation area and setting of the main building. Given the longer time period required to submit, determine and start construction for the new interim visitor welcome pavilion it will be necessary to retain the relocated security bag search facility until July 2027. The structure would then be required to be removed and the area made good. This removal and reinstatement would be secured by condition.

5.6 As part of the application, planning and listed building consent is sought to enable the temporary removal of a section of the walling in order to provide the exit route from the bag search facility. It is recommended that any wall material or stone that is removed as part of this work is then retained and carefully stored whilst the bag search facility is in this position. The stone can then be re-installed to their original positions and locations once the temporary bag search facility has been removed. Again, a condition would be required to ensure this is undertaken. Given the wall was reconstructed with modern materials and methods in the 1990s, the temporary opening is not considered to cause any harm to the setting of the listed buildings.

5.6 As well as the grade I listed British Museum, the site is located within the Bloomsbury

Conservation Area and includes numerous Grade II listed buildings close to the site. The design and scale of the temporary structure would cause less than substantial harm to the setting of the Grade I listed British Museum building, and Bloomsbury Conservation Area. Giving this harm considerable weight, officers believe there are considerable and convincing public benefits that outweigh the harm, including the protection of members of the public, the historic building and the Museum's collection. The Council has had special regard to the desirability of preserving the character and appearance of the Conservation Area, and the listed building, its setting, and its special interest.

6.0 AMENITY

6.1 Policy A1 (Managing the impact of development) seeks to protect the quality of life of occupiers and neighbours by only granting planning permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, and implications to natural light, artificial light spill, odour and fumes, as well as impacts caused from the construction phase of development.

6.2 Due to the location and nature of the single storey security structure away from neighbouring residential properties the proposal would not have an adverse impact on the amenity of the neighbouring occupiers in terms of loss of privacy, outlook or daylight and sunlight and would be considered acceptable.

7.0 TRANSPORT

7.1 Concerns have been raised by the Bloomsbury Association about the management of the queues and impact on pedestrian safety. It is acknowledged that there can be long queues of visitors along Great Russell Street waiting to go through the existing security tent before entering the Museum particularly in the height of the summer. However, this is more a comment on the existing situation. A key component of the current proposal seeks to improve the queuing format and length of the security search operations to reduce the queues and mitigate the need to queue on Great Russell Street. In order to achieve this, the East Lawn, will be laid out in a snaked pattern which will significantly increase the number of people who can queue within the gates of the British Museum. This means there is likely to be an improvement over the current situation and it will not be made any worse. It is further proposed to trial new security scanning equipment which will eliminate the need for bag searching in the majority of cases and instead introduce a simple walk-through system which seeks to keep the queue moving and prevent lengthy wait times. The upgraded security equipment has undergone testing by visitor flow consultants. The overall aim is to mitigate the need to queue on Great Russell Street and enable visitors to flow straight through the gates and into the streamlined security search facility for entry to the Museum itself. The Council's Transport officer has reviewed the information and has raised no objection to the proposal.

8.0 TREES, LANDSCAPING AND BIODIVERSITY

Landscaping

8.1 The temporary location of the bag search facility is proposed to be on the East Lawn. The grassed area of the East Lawn may be impacted by the weight of the structure. As the temporary structure will be in place for approximately 2 years it is essential that there is a plan in place to return the grass back to its former quality. The applicants have included a detailed remediation strategy in the design and access statement to ensure this takes place. A condition would be attached to ensure that the remediation strategy is secured and implemented on site following the decommissioning of the temporary structure.

8.2 In addition to the development plan's requirements, there are statutory requirements for 10% Biodiversity Net Gain (BNG). BNG is a way of creating and improving natural habitats with a measurably positive impact ('net gain') on biodiversity, compared to what was there before development. Every grant of planning permission is deemed to have been granted subject to a condition which requires the submission of a Biodiversity Net Gain Plan (BGP) before development can commence, showing how the 10% gain will be met.

8.3 This gain can be achieved through onsite biodiversity gains, registered offsite biodiversity gains (for example, on other land or developments owned by the applicant), or by purchasing statutory

biodiversity credits.

8.4 Currently the site comprises an area of grassland habitat with surrounding pavers and wall. The site has a low habitat value which is reflective of its location and highly managed nature. The site area exceeds 25 sq. m of habitat and as a result the de minimis exemption from mandatory BNG does not apply to the application. A biodiversity statement and BGP have been submitted in support of this application. This provides a pre-development biodiversity value of the on-site habitat including a map, a completed baseline metric, and completed baseline condition assessments. The statement confirms that the pre-development biodiversity value of the onsite habitat is 0.08 (dated 17/03/2025).

8.5 The proposal will result in the loss of the modified grassland habitat. However, the proposal is for a temporary relocation of the security bag search facility. Following its decommissioning, it is proposed to reinstate the East Lawn to its current pre-development condition. As the proposed development does not result in the loss of the baseline habitats it will have a neutral impact on habitat value.

8.6 The enhancement strategy proposes the provision of a single tree within the South Forecourt to provide the uplift to deliver the required net gain for biodiversity. The tree will be a non-native tree species within a suitably sized planter (approximately 1.8 sq. m in size) which will be located between the East Lawn and the main entrance of the Museum. The matrix shows that the proposed development will have a biodiversity net gain of 10.55%, equating to an uplift of 0.01 habitat units, meeting the Government's mandatory 10% target.

8.7 As the enhancement provided will need to both avoid creating a hazard during the temporary relocation of the security bag search facility and co-ordinate with subsequent workstreams, a precautionary approach has been taken and a delay to the provision of the tree included in the metric at 10 years. Taking this into consideration as well as the temporary nature of the proposal, a s106 agreement would not be required to secure the tree for 30 years.

8.8 The Council's Nature Conservation officer has reviewed the information and considers that the biodiversity gain condition is capable of being discharged successfully. The 10% gain can be met on-site with the planting of the tree in a planter (rather than a 10% enhancement on the lawn). The potential to enhance the grassland that will temporarily be lost - e.g. by replanting with a biodiverse lawn or wildflower to improve biodiversity value was considered. However, the replacement of the grassland will ensure that the east lawn is capable of delivering a new landscape scheme under future workstreams and will also ensure it is not limited by the requirement to maintain a BNG enhancement for 30 years under the temporary application.. Full details will be provided under the statutory condition when the BGP is submitted for approval. The statutory condition will not be repeated on the decision notice, in line with guidance, but informatives explaining the statutory obligations will be included on the decision.

9.0 RECOMMENDATION

9.1 Grant conditional planning permission for a temporary period until July 2027

9.2 Grant conditional listed building consent for a temporary period until July 2027

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 30th June 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2025/1746/P
Contact: Elaine Quigley
Tel: 020 7974 5101
Email: Elaine.Quigley@camden.gov.uk
Date: 26 June 2025

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

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www.camden.gov.uk

The Planning Lab
Somerset House
South Wing
London
WC2R 1LA

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

The British Museum
Great Russell Street
London
WC1B 3DG

DECISION

Proposal:

Temporary relocation of bag search facility at the south entrance of The British Museum from the existing location to the east lawn of the south forecourt with associated creation of a temporary opening in the dwarf wall to the east lawn for access/egress.

Drawing Nos: 683-DJA-DR-A-11001 rev P07; 683-DJA-DR-A-11002 rev P07; 683-DJA-DR-A-11003 rev P03; 683-DJA-DR-A-11004 rev P05; 683-DJA-DR-A-11005 rev P01; 683-DJA-DR-A-11006 rev P01; 683-DJA-DR-A-11008 rev P01; 683-DJA-DR-A-20001 rev P02; 683-DJA-DR-A-20002 rev P01; 683-DJA-DR-A-20003 rev P01; 683-DJA-DR-A-20004 rev P01; 683-DJA-DR-A-30001 rev P02; 683-DJA-DR-A-30002 rev P02; 683-DJA-DR-A-31001 rev P02; 683-DJA-DR-A-31002 rev P02; 683-DJA-DR-A-32000 rev P02.

Heritage Statement prepared by Dannatt Johnson Architects dated March 2025; Design and Access Statement prepared by Dannatt Johnson Architects dated March 2025; Cover letter prepared by The Planning Lab dated 23/04/2025; BM Visitor Welcome Pavilion Biodiversity Statement prepared by Trium Environmental Consulting LLP dated May 2025; Biodiversity Gain Plan; Biodiversity Metric.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of two years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The proposed single storey security bag search facility in the East Lawn of the South Forecourt hereby permitted is for a temporary period of 24 months only. The approved temporary single storey security bag search facility shall be removed from the site and the site reinstated and made good in accordance with the approved remediation strategy, on or before 01/07/2027.

Reason: The type of structures are not such as the local planning authority is prepared to approve, other than for a limited period, in view of its appearance. The permanent retention of the structure would be contrary to the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans-
683-DJA-DR-A-11001 rev P07; 683-DJA-DR-A-11002 rev P07; 683-DJA-DR-A-11003 rev P03; 683-DJA-DR-A-11004 rev P05; 683-DJA-DR-A-11005 rev P01; 683-DJA-DR-A-11006 rev P01; 683-DJA-DR-A-11008 rev P01; 683-DJA-DR-A-20001 rev P02; 683-DJA-DR-A-20002 rev P01; 683-DJA-DR-A-20003 rev P01; 683-DJA-DR-A-20004 rev P01; 683-DJA-DR-A-30001 rev P02; 683-DJA-DR-A-30002 rev P02; 683-DJA-DR-A-31001 rev P02; 683-DJA-DR-A-31002 rev P02; 683-DJA-DR-A-32000 rev P02.

Heritage Statement prepared by Dannatt Johnson Architects dated March 2025; Design and Access Statement prepared by Dannatt Johnson Architects dated March 2025; Cover letter prepared by The Planning Lab dated 23/04/2025; BM Visitor Welcome Pavilion Biodiversity Statement prepared by Trium Environmental Consulting LLP dated May 2025; Biodiversity Gain Plan; Biodiversity Metric.

Reason: For the avoidance of doubt and in the interest of proper planning

- 4 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 5 Within 3 months of the decommissioning of the approved temporary security bag search facility the works to reinstate the grassed area within the East Lawn shall be carried out in accordance with the remediation strategy hereby approved in the Design and Access Statement prepared by Dannatt Johnson Architects dated March 2025 and shall be retained and maintained thereafter.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 6 The existing security bag search facility adjacent to the West Lawn in the South Forecourt shown on the approved plans shall be removed in its entirety and area made good in line with the approved remediation strategy within 3 months of the first use of the East Lawn temporary security bag search facility hereby approved.

Reason: In order to minimize the impact on the appearance of the historic building and local environment in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Biodiversity Net Gain (BNG) Informative (1/2):
The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:
(a) a Biodiversity Gain Plan has been submitted to the planning authority, and

(b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

Based on the information provided, this permission WILL require approval of a BGP before development is begun because none of the statutory exemptions or transitional arrangements are considered to apply.

5 Biodiversity Net Gain (BNG) Informative (2/2):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

DRAFT

DECISION

Application ref: 2025/1777/L
Contact: Elaine Quigley
Tel: 020 7974 5101
Email: Elaine.Quigley@camden.gov.uk
Date: 26 June 2025

Development Management
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The Planning Lab
Somerset House
South Wing
London
WC2R 1LA

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
The British Museum
Great Russell Street
London
WC1B 3DG

DECISION

Proposal:

Formation of a temporary opening in the dwarf wall to the east lawn for access/egress in association with the temporary relocation of bag search facility at the south entrance of The British Museum from the existing location to the east lawn of the south forecourt

Drawing Nos: 683-DJA-DR-A-11001 rev P07; 683-DJA-DR-A-11002 rev P07; 683-DJA-DR-A-11003 rev P03; 683-DJA-DR-A-11004 rev P05; 683-DJA-DR-A-11005 rev P01; 683-DJA-DR-A-11006 rev P01; 683-DJA-DR-A-11008 rev P01; 683-DJA-DR-A-20001 rev P02; 683-DJA-DR-A-20002 rev P01; 683-DJA-DR-A-20003 rev P01; 683-DJA-DR-A-20004 rev P01; 683-DJA-DR-A-30001 rev P02; 683-DJA-DR-A-30002 rev P02; 683-DJA-DR-A-31001 rev P02; 683-DJA-DR-A-31002 rev P02; 683-DJA-DR-A-32000 rev P02.

Heritage Statement prepared by Dannatt Johnson Architects dated March 2025; Design and Access Statement prepared by Dannatt Johnson Architects dated March 2025; Cover letter prepared by The Planning Lab dated 23/04/2025.

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of two years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The proposed single storey security bag search facility in the East Lawn of the South Forecourt hereby permitted is for a temporary period of 24 months only. The approved temporary single storey security bag search facility shall be removed from the site and the site reinstated and made good in accordance with the approved remediation strategy, on or before 01/07/2027.

Reason: The type of structure is not such as the local planning authority is prepared to approve, other than for a limited period, in view of its appearance. The permanent retention of the structure would be contrary to the requirements of policy D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans - 683-DJA-DR-A-11001 rev P07; 683-DJA-DR-A-11002 rev P07; 683-DJA-DR-A-11003 rev P03; 683-DJA-DR-A-11004 rev P05; 683-DJA-DR-A-11005 rev P01; 683-DJA-DR-A-11006 rev P01; 683-DJA-DR-A-11008 rev P01; 683-DJA-DR-A-20001 rev P02; 683-DJA-DR-A-20002 rev P01; 683-DJA-DR-A-20003 rev P01; 683-DJA-DR-A-20004 rev P01; 683-DJA-DR-A-30001 rev P02; 683-DJA-DR-A-30002 rev P02; 683-DJA-DR-A-31001 rev P02; 683-DJA-DR-A-31002 rev P02; 683-DJA-DR-A-32000 rev P02.

Heritage Statement prepared by Dannatt Johnson Architects dated March 2025; Design and Access Statement prepared by Dannatt Johnson Architects dated March 2025; Cover letter prepared by The Planning Lab dated 23/04/2025.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 4 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 5 Prior to the relevant part of the works, a Method Statement, shall be submitted to and approved in writing by the Council as local planning authority. The Method statement must include details of a schedule of works, a method statement for the dismantling, storage (and cleaning where necessary) of any features or structures including the East Lawn perimeter wall, and a method statement for the reinstatement of the section of the East Lawn perimeter wall. The work must be undertaken by a qualified professional specialising in building conservation.

The works shall be carried out in accordance with the approved details.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

DECISION