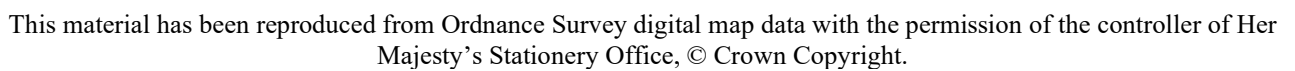


Greater London House, Hampstead Road



Photos & Plans

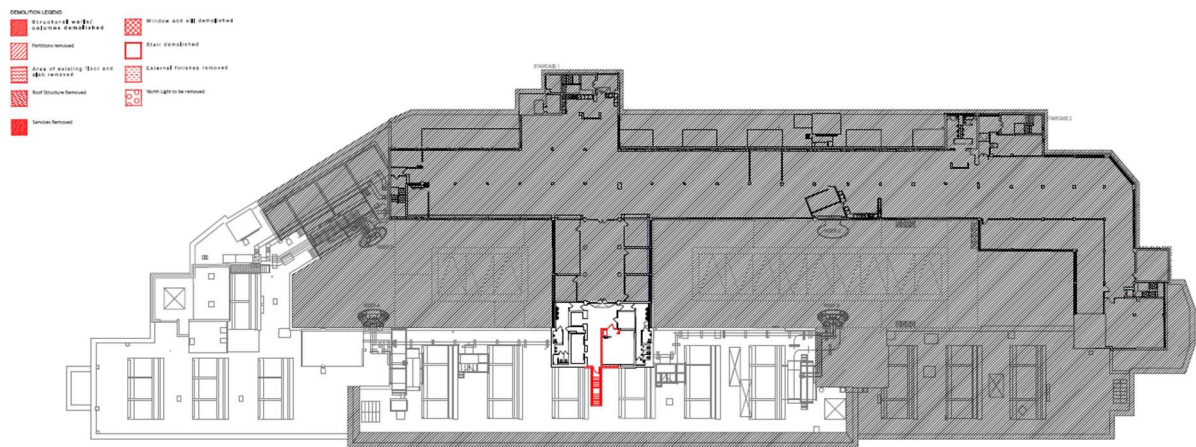


Figure 1: Existing Roof Plan

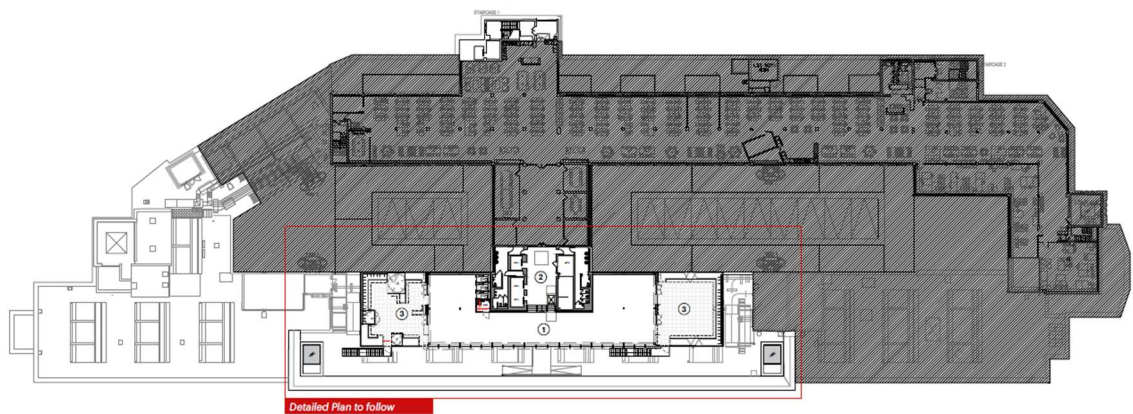


Figure 2: Proposed Roof Plan

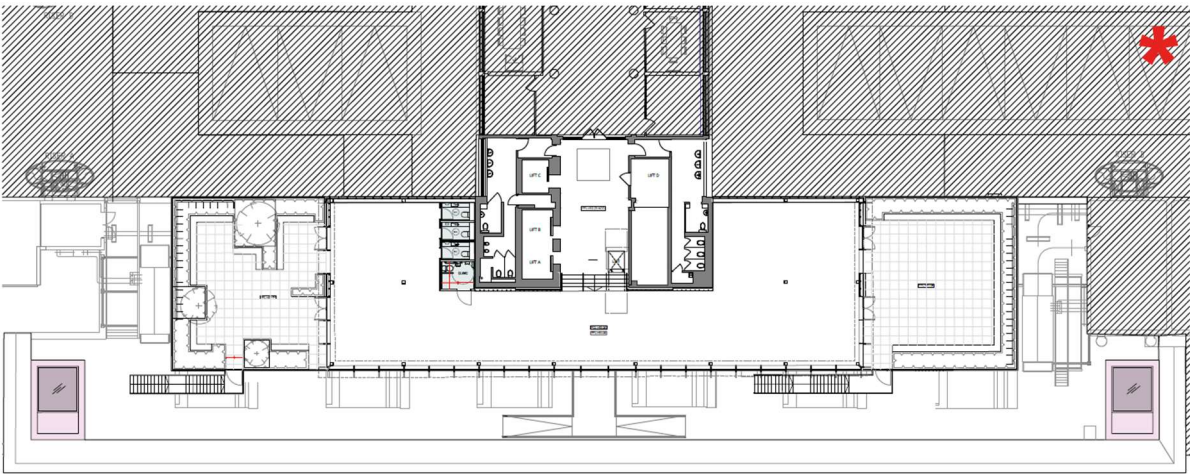


Figure 3: Proposed Roof Plan Details

Photos & Plans

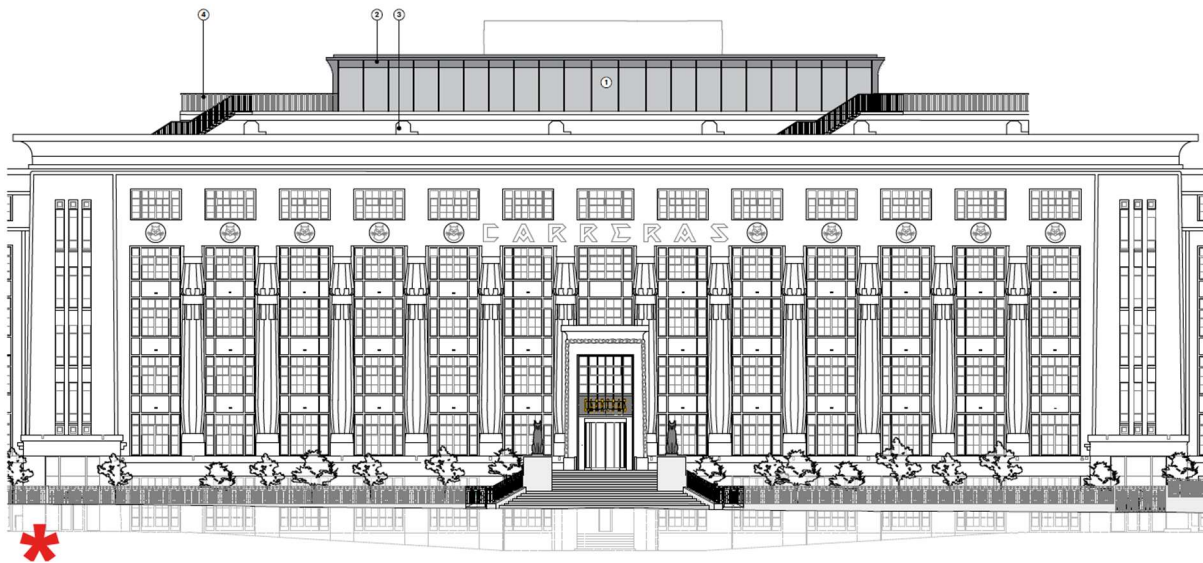
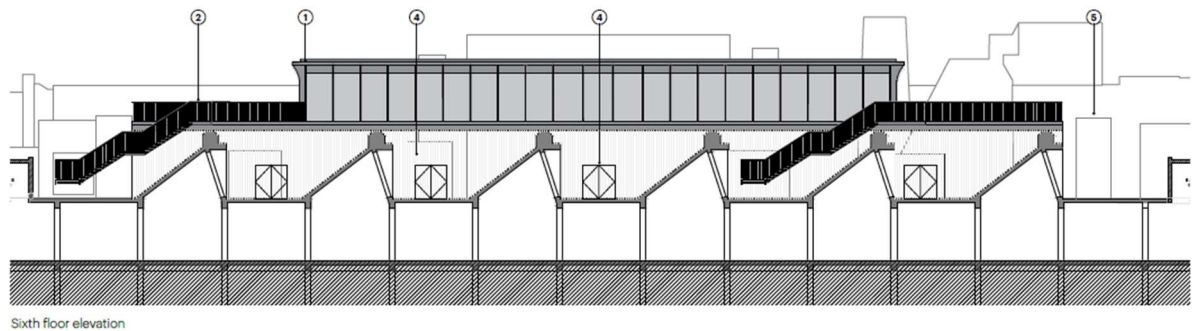
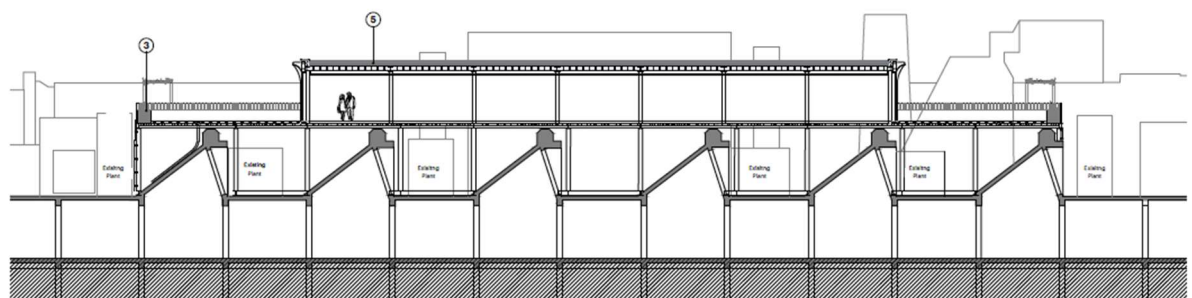


Figure 4: Proposed Front Elevation



Sixth floor elevation

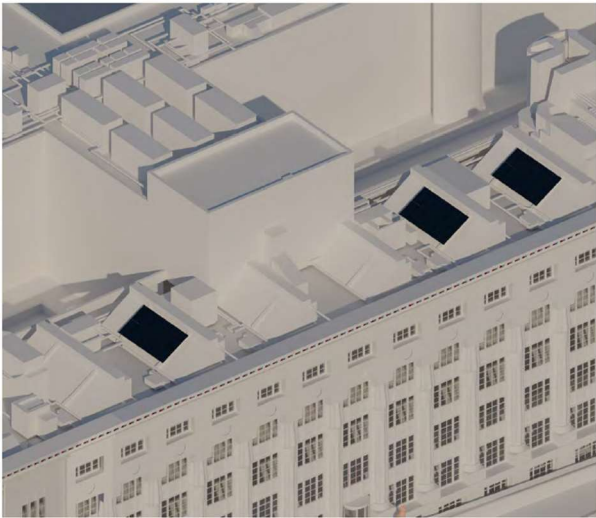


Sixth floor Section

Figure 5: Proposed Section

Photos & Plans

Existing photovoltaic arrangement



Proposed photovoltaic arrangement



Figure 6: Existing 3D Visuals

Figure 7: Proposed 3D Visuals

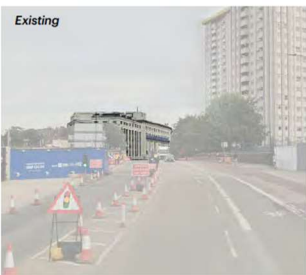
2. Harrington Square Gardens View



3. Hampstead Road



4. Hampstead Road (Bridge)



5. Varnell Street

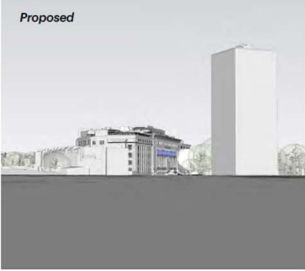
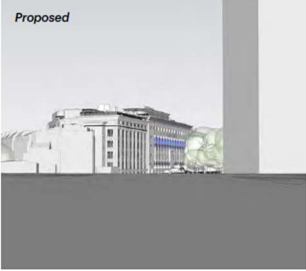
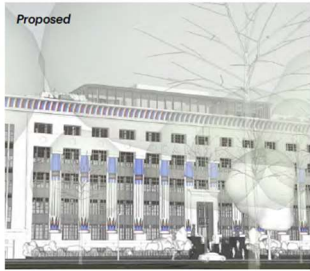


Figure 8: Streetview with different angles

Photos & Plans

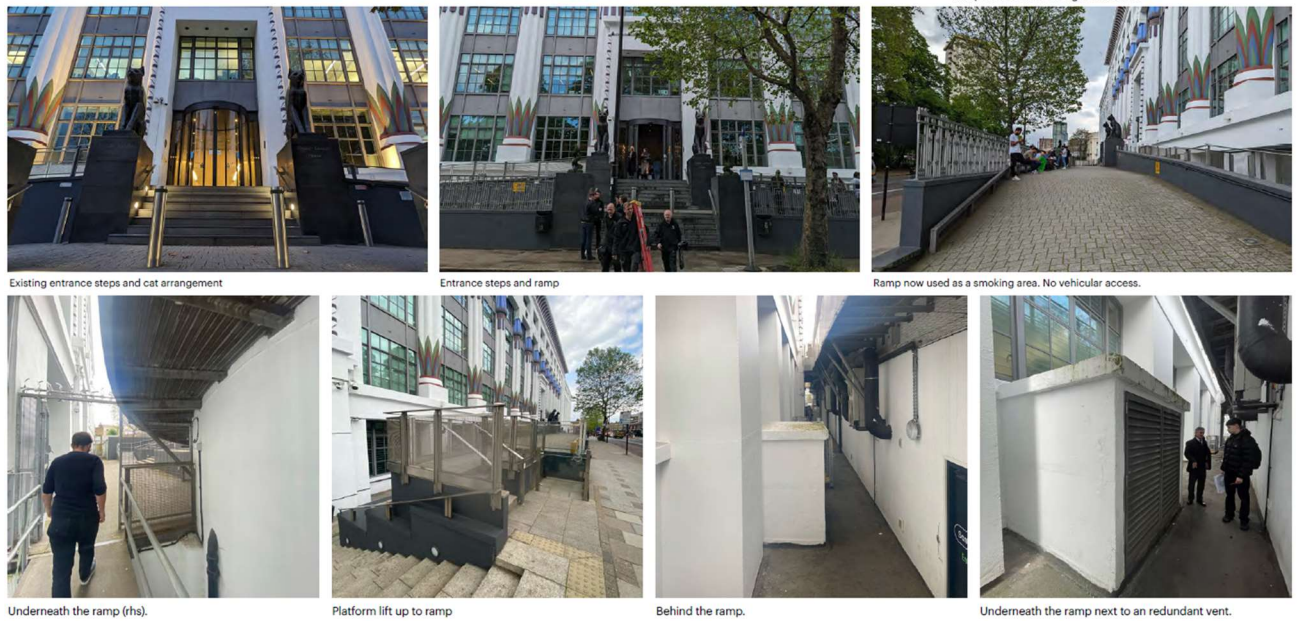


Figure 9: Site Photos of existing layout and structure

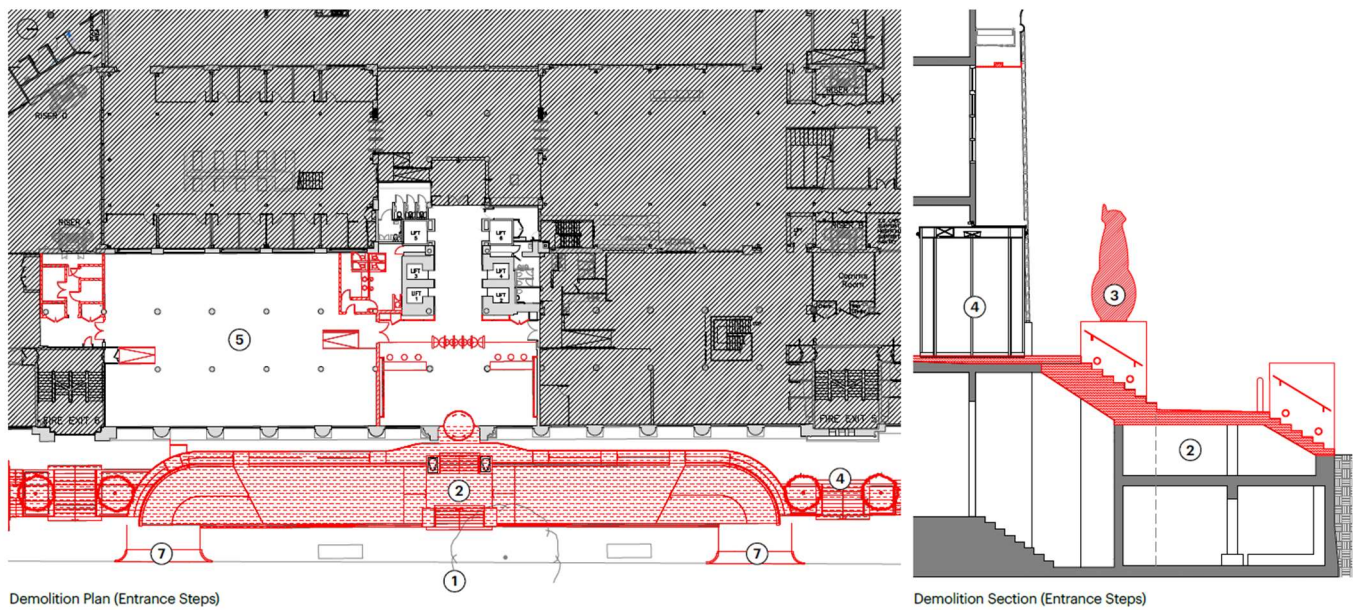
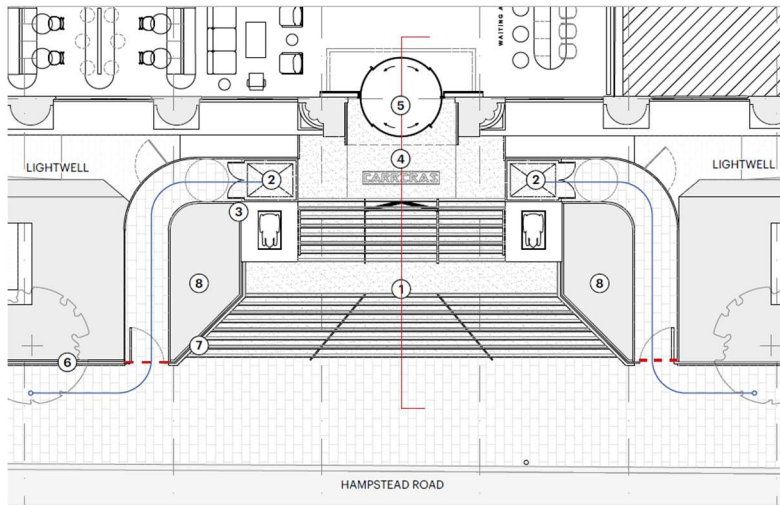


Figure 10: Existing Section for front elevation

Photos & Plans

Proposed Entrance Stair & Portal Detailed Plan



Proposed Entrance Stair & Portal Section

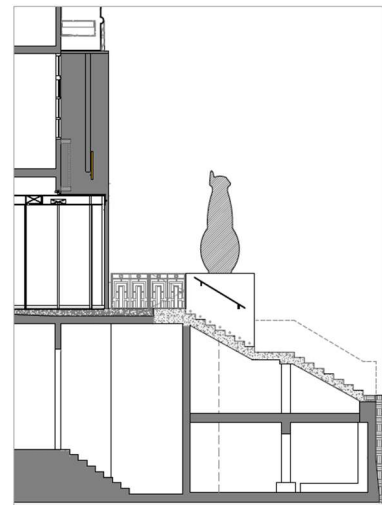


Figure 10: Proposed Section and Ground Floor Plan

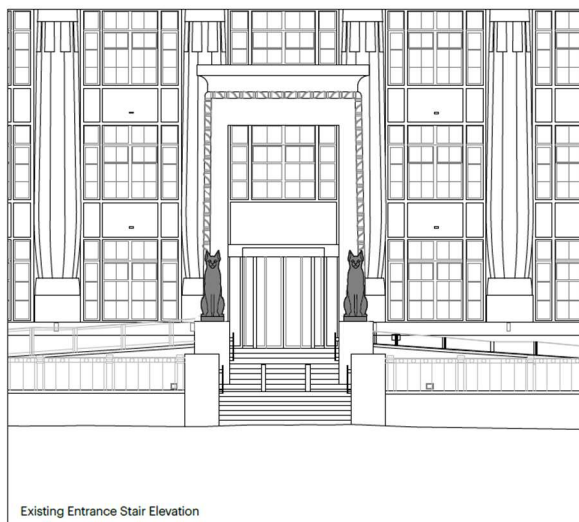


Figure 11: Existing Front Elevation



Figure 12: Proposed Front elevation

Photos & Plans



Figure 12: Proposed 3D Visuals

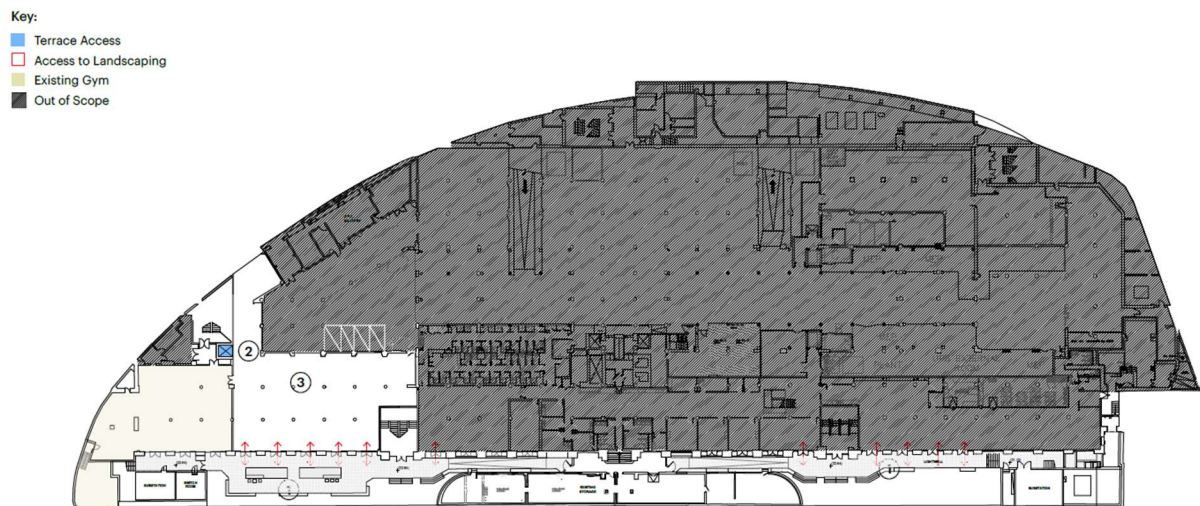


Figure 13: Existing Lower Ground Floor Plan

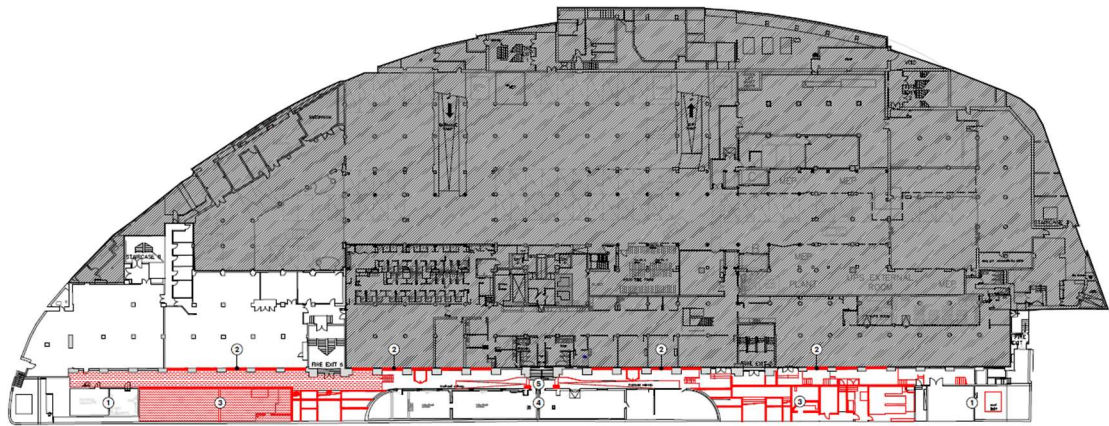


Figure 14: Proposed Lower Ground Floor Plan

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:		28/04/2025	
		N/A / attached		Consultation Expiry Date:		28/06/2025	
Officer				Application Number(s)			
Henry Yeung				2025/0912/P			
Application Address				Drawing Numbers			
Greater London House Hampstead Road London NW1 7QX				<i>Please refer to Decision Notice</i>			
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature				
Proposal(s)							
Improvements to the building entrance, including replacing the existing ramp with stairs and lifts; relocating the cat statues; demolishing ancillary structures; creating one new roof terraces for amenity use, including rooftop pavilions; repositioning PV panels; introducing soft landscaping; and carrying out associated works; the removal and repositioning of the green roof and the existing solar panels.							
Recommendation(s):		Grant planning permission					
Application Type:		Full Planning Permission					

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	04	No. of objections	02
Summary of consultation responses: <i>Officer response in italic</i>	Site notices were displayed from 04/06/2025 to 28/06/2025. Press advertisement ran from 27/03/2025 to 20/04/2025.					
	1. Deliveries Outside Permitted Hours					
	Residents have raised concerns about repeated early morning deliveries taking place before 8am, which are causing significant disruption.					
	<i>It is acknowledged that there are concerns raised by residents regarding repeated early-morning deliveries taking place prior to 8:00am, and the resulting disruption this has caused. However, the current proposal does not include any change to the use of the building nor change to the location of deliveries. As such, no restrictions can be imposed as part of this application.</i>					
	2. Blue Shipping Containers					
	There is strong concern regarding the presence of blue shipping containers at the rear of the building. These containers are perceived as semi-permanent and visually intrusive, detracting from the setting of nearby listed buildings.					
	<i>The blue shipping containers are not part of the current application; thus, no restrictions or conditions can be imposed as part of this application.</i>					
	3. Noise from Rooftop Areas					
	Concerns have been raised about the potential for noise disturbance from the proposed fifth and sixth floor open terrace areas. There is a request for noise mitigation measures to be integrated into the design, potentially through planting and physical screening. It is confirmed that the terraces shall be used solely in connection with the office use of the building.					
	<i>The terraces will not be used by the general public or for any events unrelated to the office function. To address potential noise impacts, conditions 4 and 5 will be imposed to ensure that no amplified music or sound shall be played in the terrace areas at any time. Furthermore, the use of the terraces shall be restricted to weekdays only (Monday to Friday), and shall not be permitted on Saturdays, Sundays, or public holidays, in order to protect residential amenity.</i>					
	4. Security and Anti-Social Behaviour					
	The open nature of the yard and delivery bay is reported to encourage loitering, which is further exacerbated by bright security lighting that shines into nearby residential flats.					

While these matters are acknowledged, it is noted that issues relating to security, loitering, and general anti-social behaviour are not, in themselves, material planning considerations related to the development proposed in this application.

5. Front Entrance Design

The proposed placement of the cat statues halfway up the steps, which is seen as less effective than their current location.

The new design has been carefully developed to enhance accessibility to the office building, providing a more inclusive and user-friendly approach for all visitors, including those with mobility needs.

6. Proposed Rooftop Pavilion

The current design has been criticised as visually incongruous with the host building, with some comparing it to a glass box or showroom. It is suggested that the design be revised to better reflect the Egyptian Revival character of the building. This could involve drawing upon the existing colour palette, geometry, and materials of the building. The design should be sensitive and contextual without resorting to pastiche.

Officers have assessed the pavilion's visual impact through site visits and verified views and, in consultation with the Council's Conservation Officers, concluded that the proposals will not cause harm to the conservation area or nearby listed buildings. The extension is viewed as an opportunity to visually and functionally upgrade the deteriorating roofscape, with appropriate boundary treatments such as matching white aluminium railings helping to ensure design coherence. Please refer to 2.4 in the report for further assessment on the design of the proposal.

7. Terrace Staircase Layout

The proposed staircase layout to the new terraces has raised concern due to its asymmetry, which is viewed as disrupting the balance of the original building design.

While these comments are noted, it is important to clarify that the staircases are not prominently visible from the public realm, including key street-level views. Their location at upper levels and behind screening elements significantly limits their visual impact when viewed from ground level. Furthermore, the proposed staircase configuration has been carefully designed to optimise access and usability for office occupants, contributing to improved amenity and functionality of the terrace spaces.

Camden Town CAAC

CTCAAC raises strong concerns about the visibility of the proposed rooftop pavilion in long views, particularly across Harrington Square during winter months. The design and materials are seen as incongruous with the host building, with fears that the pavilion would negatively impact the character and appearance of the Conservation Area.

Additionally, the objector highlights the asymmetrical placement of the new staircases to the terraces, which they believe conflicts with the building's existing symmetrical design. A suggestion is made to reposition the staircases to restore architectural balance.

Despite these concerns, the objector expresses support for the proposed alterations to the front steps and the rear service yard, considering them to be positive contributions to the streetscape within the Conservation Area.

The concerns raised about the visibility of the rooftop pavilion, particularly in long views across Harrington Square during the winter months, are noted. However, following a detailed assessment, including a site visit and townscape analysis, officers are satisfied that the pavilion remains visually subservient to the host building and will not result in harm to the character or appearance of the Conservation Area. The proposed design adopts a contemporary architectural language that draws upon the building's historic features without resorting to pastiche, and the use of high-quality materials will ensure a cohesive and sensitive addition.

Regarding the asymmetrical placement of the new terrace staircases, it is acknowledged that this represents a departure from the original symmetry of the building. However, the staircases are largely screened and not prominent in public views. The layout has been carefully considered to provide functional benefits and enhanced amenity for office users, and the overall impact on the architectural composition of the building is minimal.

In conclusion, the proposed development has been designed to preserve and enhance the historic context of the site, while delivering meaningful improvements to its functionality and appearance. The scheme is considered acceptable in planning terms and consistent with both local and national heritage policies.

Site Description

The application relates to Greater London House, a five-storey office building located on the west side Hampstead Road, within the Camden Town Conservation Area. Originally known as the "Black Cat Building" and formerly used as a cigarette factory, this architectural landmark now functions office building. While not statutorily or locally listed, it is identified in the Camden Town Conservation Area Appraisal as a positive contributor and a focal point within the area.

Relevant History

2024/3091/P Alterations to existing supply and extract ductwork at fifth floor level (northeast), including modifications to an existing window opening. **Granted on 25/07/2024**

2025/2344/P Creation of paved terraces at third floor level within the existing North and South lightwells, including seating, planting, creation of new access doorways, and other associated works. **Granted on 03/06/2025**

2022/0705/P Refurbishment of existing external terrace at rear fifth floor level including replacement decking, erection of pergolas, alterations to external wall, replacement of windows with doors and installation of new access doors. **Granted on 20/06/2022**

2017/2792/P Details of solar PV equipment and green roof as required by conditions 7 and 8 of 2016/4208/P dated 26/10/2016 (for 3 storey infill extensions, an additional 3,897m² of office floorspace (B1a), plant and associated works). **Granted on 16/05/2017**

2016/4208/P The construction of 3 storey infill extensions at upper ground, 1st and 2nd floor levels within the open-air atrium of the building to create an additional 3,897m² of office floorspace (B1a); the removal of the existing redundant bridge link structures; associated facilities at lower ground level; the addition of plant at roof level and cycle parking. **Granted Subject to a Section 106 Legal Agreement on 28/07/2016**

Relevant policies

National Planning Policy Framework 2024

The London Plan (2021)

Camden Local Plan (2017)

- Policy D1 – Design
- Policy D2 – Heritage
- Policy A1 – Managing the Impact of Development
- Policy A3 – Biodiversity
- Policy A4 – Noise and Vibration
- Policy CC1 – Climate Change Mitigation
- Policy CC2 – Adapting to Climate Change
- Policy C6 – Access for All
- Policy G1 – Delivery and Location of Growth
- Policy DM1 – Delivery and Monitoring
- Policy TC2 Camden's centres and other shopping areas

Camden Planning Guidance (CPG)

- Access for All – March 2019
- Amenity – January 2021
- Energy Efficiency and Adaptation – January 2021
- Transport – January 2021

Camden Town Conservation Area Statement (2007)

Draft Camden Local Plan (DCLP)

The Council published a new Draft Camden Local Plan, incorporating Site Allocations, for consultation in January 2024. Following public consultation, an updated Submission Draft was considered by Cabinet on 2 April 2025 and by the Council on 7 April 2025.

The Council resolved to approve the Submission Draft Local Plan for publication and submission to the government for examination, subject to a final consultation. This consultation closed on Friday 27 June 2025.

The Submission Draft Local Plan is now a material consideration in the determination of planning applications, though currently of limited weight. Its weight will increase as it progresses towards adoption, which is anticipated in 2026.

Assessment

1. Proposal

1.1. The proposal comprises the following works:

- Replacing the existing ramp with stairs and lifts
- Relocating the cat statues and demolishing ancillary structures at the front entrance to improve accessibility.
- New terrace and single storey rooftop pavilion extension at roof level.
- Other works include repositioning PV panels, introducing soft landscaping, and carrying out associated refurbishment works.
- Removal and repositioning of the green roof and existing solar panels on the rooftop, as well as landscaping improvements on the basement floor.

1.2. The principal planning considerations for the proposal are:

- Design and Conservation
- Amenity
- Sustainability
- Biodiversity
- Transport

2. Design and Conservation

2.1. The Council's design policies seek to secure high-quality development that respects and enhances the character of the surrounding area. Policy D1 of the Camden Local Plan (2017) requires all new development to achieve a high standard of design that is appropriate to its context. This includes careful consideration of the scale, massing, form, and architectural detailing to ensure that proposals relate sensitively to the local character and heritage. Developments must use high-quality, durable materials that complement the surrounding built environment and contribute positively to the streetscape. The policy also highlights the importance of creating accessible, inclusive, and legible environments that improve the experience for all users.

2.2. Policy D2 further supports these objectives by emphasizing the need for development to promote a strong sense of place and enhance local distinctiveness. It encourages the incorporation of architectural features and design elements that reflect Camden's diverse townscape and cultural heritage. D2 also requires proposals to consider the impact on views, townscape, and heritage assets, ensuring that new buildings contribute to the character and identity of their area without causing harm.

- 2.3. The proposals seek to carry out a comprehensive refurbishment of the existing Art Deco Egyptian Revival-style building to enhance its office environment, improve accessibility, and sensitively integrate new elements that respect the building's heritage significance. The current entrance arrangement is unwelcoming and dominated by a car-centric forecourt, with poor accessibility due to a non-compliant ramp that requires users to access a lift. The proposals include removing the existing ramp and introducing two new platform lifts at street level, enabling full step-free access into the building. One of these lifts will be designated for deliveries but will also serve as a backup passenger lift when not in use for that purpose. A compliant ramp was not feasible due to significant level changes on site. To improve legibility and visual coherence, the existing Egyptian cat statues will be repositioned to frame the new entrance and subtly screen the lifts, helping to soften their impact on the streetscape. These interventions will improve inclusivity and address concerns regarding anti-social behaviour associated with the current layout. The proposed front alterations will ensure consistency with the existing character and help preserve the setting of the Camden Town Conservation Area.
- 2.4. The scheme includes the installation of additional rooftop amenity space at sixth-floor level, featuring a central pavilion and landscaped terrace. The pavilion and terrace are designed to provide high-quality, functional outdoor space adopting a modern interpretation of the building's distinctive architectural language, while remaining subservient in height and materiality to the host building. The pavilion connects into the existing lift core and sits above the retained north rooflights. A platform lift will be integrated discreetly within the stair arrangement to allow wheelchair access to the pavilion and ensure level access across the terrace area. A metal louvred screen system has also been incorporated to conceal rooftop plant, maintaining a visually cohesive appearance.
- 2.5. Rear terraces at upper ground and first-floor levels will provide additional outdoor amenity space for office users without detracting from the architectural integrity of the building or surrounding context. These terraces are designed with suitable balustrades and screening (1.8m timber reducing to 1.1m) and are largely hidden from public view. Although the proposed pavilion is more visible than the current rooftop arrangement, particularly when viewed from Mornington Crescent, therefore this visibility is considered a positive contribution to the townscape.
- 2.6. The existing rooftop is dated in appearance and in clear need of refurbishment; the proposed additions represent a significant improvement, enhancing both architectural coherence and material quality. The repositioning and upgrading of the existing PV panels and green roof will enhance energy performance in line with London Plan Policy SI2, supporting broader climate resilience goals.
- 2.7. In addition, further soft landscaping at lower ground level and tiered planting around the entrance steps will strengthen the building's biodiversity and contribute positively to its visual character. Therefore, the relevant landscaping works enhance and preserve the Camden Town Conservation Area.
- 2.8. The rooftop pavilion is most noticeable in longer views from Mornington Crescent and across Harrington Square Gardens, particularly during the winter months when tree cover is reduced. However, both the design and access statement conservation officers concluded during the pre-app stage mentioned that the overall impact is minimal and that the intervention represents a clear improvement to the existing roofscape, enhancing the building's contribution to the character and appearance of the conservation area. The design and materiality of the rooftop elements, including the pavilion, plant screening and railings, would improve the roofscape without causing harm to important views or the setting of adjacent heritage assets. Officers requested that the rooftop boundary treatment match the existing white aluminium railing to minimise visual impact and ensure cohesion.

2.9. The rear landscaping works involve replacing the existing razor wire fence with a new, lower, and more contextual fence inspired by the original front metalwork, complemented by planters behind to enhance greenery in views both into and out of the site. These improvements will enhance the streetscape and visual amenity without adversely affecting the building or the adjoining area.

2.10. The proposals have been developed with regard to the statutory duties under Sections 66(1) and 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, which require special attention to be paid to the preservation or enhancement of the character or appearance of heritage assets and their settings.

3. Amenity

3.1. Policies A1 and A4 of the Local Plan seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. It seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of neighbouring residents. CPG Amenity aims to minimise the impact on the loss of daylight and sunlight.

3.2. The proposed rooftop pavilion is unlikely to result in any unacceptable overlooking or privacy impacts to neighbouring residential occupiers. The structure is modest in height and scale, and its design ensures it does not give rise to any intrusive views toward neighbouring properties. Furthermore, there are no concerns regarding overlooking to the south or east, as the nearest buildings are well-separated from the site by significant distances. The modest scale of the pavilion also ensures that it will not obstruct daylight to surrounding buildings.

3.3. The proposed terraces will be accessible only to employees of Greater London House and their guests, with no public access permitted. This restriction will significantly limit the number of users and therefore reduce the potential for noise disturbance. Given the enclosed nature of the lightwells and the limited scale of the terraces, any noise generated is expected to be minimal and unlikely to cause harm to the amenity of neighbouring offices or meeting rooms.

3.4. To further mitigate any potential impacts, the design includes integrated planting and discreet railings, which reduce opportunities for overlooking and visual intrusion, thereby helping to preserve the character of the surrounding environment. Use of the terraces will be strictly limited to the hours of 08:00 to 20:30, Monday to Saturday, and 08:30 to 20:00 on Sundays and Bank Holidays. These measures have been secured through a condition included in the decision notice. Management of the terraces will be overseen by the Lazari Building Management Team, who will implement and enforce usage controls. These include a prohibition on playing music, ensuring that any potential for noise disturbance is kept to a minimum. The overall design, access restrictions, and operational controls ensure the terraces will not materially impact the amenity of adjacent properties or users of nearby buildings.

3.5. The proposed external works including the replacement of the existing ramp with stairs and lifts, relocation of the cat statues, demolition of ancillary structures, repositioning of photovoltaic panels, introduction of soft landscaping, and the removal and repositioning of the green roof and solar panels are considered minor in scope and scale. As such, they will not introduce any overlooking, loss of light, increased noise, or any other form of impact that would adversely affect the amenity of neighbouring properties. The alterations are contained entirely within the site boundary and do not introduce any new use or intensity of use that would affect residential or commercial neighbours.

3.6. Accordingly, it is considered that the proposed development will not result in any material harm to neighbouring amenity and are acceptable in planning terms.

4. Sustainability

- 4.1. Policy CC1 (Climate Change Mitigation) of the Local Plan requires developments to meet the highest feasible environmental standards. The aim of the policy is to ensure that all new development in Camden contributes to reducing carbon emissions, improving energy performance, and supporting both London-wide and national climate change objectives.
- 4.2. The proposed development includes the creation of a roof terrace and an associated office pavilion to provide additional amenity space at roof level. As part of these works, existing lightwells will be removed, and the solar (PV) panels currently in those locations will be relocated. In addition, further PV panels are proposed to enhance the building's energy performance. The increased provision of PV panels is expected to generate an additional 4.8kW of renewable energy annually, contributing to the decarbonisation of the building's energy supply. The relocation and expansion of solar infrastructure, in conjunction with the proposed pavilion, will enhance the building's overall energy efficiency and sustainability credentials. As such, the proposals accord with both regional and local planning policy objectives relating to climate change mitigation and are considered acceptable in principle.

5. Biodiversity

- 5.1. Policy A3 sets out the Council's approach to protecting, enhancing, and creating biodiversity across the borough. The policy requires developments to safeguard existing habitats and species, including Sites of Importance for Nature Conservation (SINCs), and to contribute positively to local biodiversity. This can be achieved through measures such as green roofs, green walls, native planting, and habitat creation. Developments are expected to demonstrate how they will enhance ecological value and, where relevant, be supported by ecological assessments. The policy also promotes biodiversity net gain and encourages improvements in areas that are deficient in access to nature.
- 5.2. A Preliminary Ecological Assessment has been prepared by TLP, which confirms that the proposals would not impact any existing habitat greater than 25 sqm or any priority habitat. As such, the development is exempt from the statutory requirement to deliver a 10% Biodiversity Net Gain. Nevertheless, the proposals include new planting and greening measures where possible to enhance the physical environment and promote biodiversity. The proposed planting scheme will feature a diverse range of nectar-rich flowering plants, along with fruiting and berrying species, incorporated at various levels from rooftop and tree canopy to shrub and ground cover. Additionally, both intensive and extensive green roof areas are proposed, which will help slow surface water run-off and mitigate the urban heat island effect. Decorative uplighting is also proposed, where appropriate, to highlight small trees and areas of vertical greening. Planting and lighting details will be secured via condition on the decision notice. A relevant green roof condition has been added in the event of approval.

6. Transport

- 6.1. Policy T1 of the Camden Local Plan prioritises sustainable modes of transport—particularly walking, cycling, and public transport—and seeks to minimise the negative impact of development on the local transport network.
- 6.2. The proposed development does not include any changes to the rear servicing arrangements of the site, and existing delivery, servicing, and waste management procedures will remain unaffected. The only changes to the rear include enhanced greening to screen the servicing yard, which will improve the site's visual amenity without altering its operational function. The scheme involves the removal of two redundant vehicle crossovers on Hampstead Road and the infilling of the associated pavement area. This change, along with the removal of the existing vehicle ramp, will improve step-free access between the building and the public footway. All newly proposed gates will open inwards, which is welcomed, as it will minimise

disruption to pedestrian flow and ensure safety along the public highway.

6.3. Transport for London (TfL), the highway authority for Hampstead Road, has advised that the removal of crossovers will require the applicant to enter into a Section 278 agreement under the Highways Act, as also suggested by the transport officer. This will be secured via a pre-commencement condition. Overall, the application is considered acceptable from a transport and highways perspective.

7. Conclusion

7.1. As such, the proposal generally complies with Local Plan Policies D1 (Design), D2 (Heritage), A1 (Managing the Impact of Development), A3 (Biodiversity), A4 (Noise and Vibration), CC1 (Climate Change Mitigation), CC2 (Adapting to Climate Change), C6 (Access for All), G1 (Delivery and Location of Growth), DM1 (Delivery and Monitoring), and TC2 (Camden's Centres and Other Shopping Areas). The proposal also aligns with the Draft Camden Local Plan 2026, the London Plan 2021, and the National Planning Policy Framework (NPPF) 2024.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 18th August 2025 nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2025/0912/P
Contact: Henry Yeung
Tel: 020 7974 3127
Email: Henry.Yeung@camden.gov.uk
Date: 13 August 2025

Development Management
Regeneration and Planning
London Borough of Camden
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Judd Street
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planning@camden.gov.uk
www.camden.gov.uk

Newmark Gerald Eve LLP
One Fitzroy
6 Mortimer Street
London
W1T3JJ

Dear Sir/Madam

DRAFT
DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

**Greater London House
Hampstead Road
London
NW1 7QX**

Proposal:

Improvements to the building entrance, including replacing the existing ramp with stairs and lifts; relocating the cat statues; demolishing ancillary structures; creating one new roof terrace for amenity use, including rooftop pavilions; repositioning PV panels; introducing soft landscaping; and carrying out associated works; the removal and repositioning of the green roof and the existing solar panels.

Drawing Nos:

A01P1, A02P1, A03P1, A09P1, A10P1, A15P1, A16P1, A20P1, A21P1, A22P1, A24P1, A25P1; A799P1, A800P1, A805P2, A806P2, A820P1; A99001 A1000P1, A1050P2, A1060P2, A1070P2, A1500P2, A1501P2, A1510P2, A1520P2, A1521P2; A3000P2, A3001P2, A3002P2, A3003P1, A3010P1, A3011P1, A3020P2, A3021P1, A3022P1, A3030P1, A3031P1, A3032P1, A3040P1; A6000 P1; Revised Covering Letter; Design & Access Statement; Landscape Design Statement REV A; Operational Management Plan; Preliminary Ecological Appraisal

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

A01P1, A02P1, A03P1, A09P1, A10P1, A15P1, A16P1, A20P1, A21P1, A22P1, A24P1, A25P1; A799P1, A800P1, A805P2, A806P2, A820P1; A99001 A1000P1, A1050P2, A1060P2, A1070P2, A1500P2, A1501P2, A1510P2, A1520P2, A1521P2; A3000P2, A3001P2, A3002P2, A3003P1, A3010P1, A3011P1, A3020P2, A3021P1, A3022P1, A3030P1, A3031P1, A3032P1, A3040P1; A6000 P1; Revised Covering Letter; Design & Access Statement; Landscape Design Statement REV A; Operational Management Plan; Preliminary Ecological Appraisal Document: Revised Covering Letter; Design & Access Statement; Landscape Design Statement REV A; Operational Management Plan; Preliminary Ecological Appraisal;

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The use of the terraces hereby permitted shall not be carried out outside the following times: 08:00 to 20:30 Mondays to Saturdays, and 08:30 to 20:00 on Sundays and Bank Holidays.

To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of Policies G1, D1, A1, A4 and DM1 of the London Borough of Camden Local Plan 2017.

- 5 No music shall be played on the terraces hereby permitted in such a way as to be audible within any adjoining premises or on the adjoining highway.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies G1, D1, A1, A4 and DM1 of the London Borough of Camden Local Plan 2017.

- 6 No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. [Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels.] The relevant part of the works shall not be carried out

otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 7 All hard and soft landscaping works shall be carried out in accordance with the approved landscape details [by not later than the end of the planting season following completion of the development or any phase of the development] [, prior to the occupation for the permitted use of the development or any phase of the development], whichever is the sooner. Any trees or areas of planting (including trees existing at the outset of the development other than those indicated to be removed) which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 8 Prior to the commencement of any development (excluding demolition, site clearance, and ground investigation works), the applicant shall submit for approval, and have agreed in writing by Transport for London (TfL), the details of the required works to the public highway under a Section 278 Agreement of the Highways Act 1980. The agreement shall include the scope, design, delivery mechanism, and timing of the works necessary to mitigate transport impacts arising from the development. The approved works shall be implemented in full accordance with the agreed details and timetable unless otherwise agreed in writing by the Local Planning Authority in consultation with TfL.

Reason: To ensure that any necessary highway works required as a result of the development are agreed and delivered in a timely manner, in order to safeguard pedestrian and highway safety, maintain efficient operation of the transport network, and minimise disruption in accordance with Policies T1, T2, A1, D1, and G1 of the Camden Local Plan 2017.

- 9 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include
- i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 2 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 4 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 5 Biodiversity Net Gain (BNG) Informative (1/3):

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is below the de minimis threshold.

6 Biodiversity Net Gain (BNG) Informative (2/3):

+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
 - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
 - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
 - The application is a Householder Application.
 - It is for development of a "Biodiversity Gain Site".
 - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
 - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

7 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development

value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer

DECISION